

SUNRISE AT MILL CREEK

A Residential Development
Mill Creek, Washington

ROAD AND STORM SEWER PLANS

N.E. 1/4, SEC. 5, TWP.27N., R. 5E., W.M.

April 1992

NOTE: ALL STORM FACILITIES, RD. & AT APPROXIMATE 50 FT. INTERVALS AND LIGHT POLES WERE LOCATED HORIZONTALLY AND VERTICALLY AS A PART OF THIS SURVEY AND SHOWN HEREON. ANY OTHER INFORMATION SHOWN IS PER DESIGN AND WAS NOT FIELD LOCATED.



FOR: Lancaster Homes, Inc., 14410 Bel-Red Road, Suite 200, Bellevue, Wa. 98007, Tel.: 644-2323

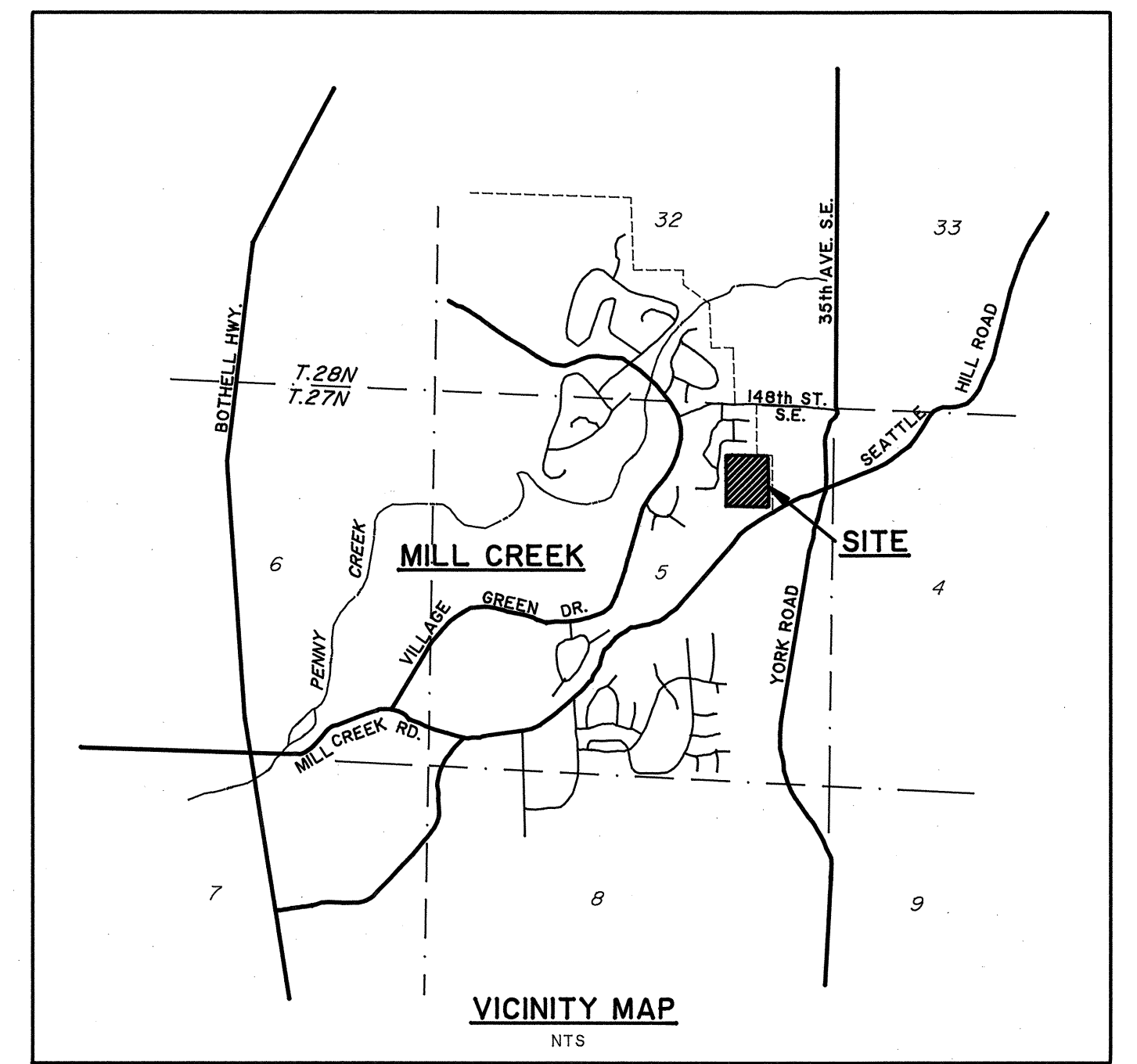
BY: Hugh G. Goldsmith & Assoc., Inc., Bellevue, Washington Engineers Surveyors Planners



CENTERLINE OF RIGHT-OF-WAY : LINE AND CURVE DATA

LINE	BEARING	DISTANCE
L2	N 74°58'54" E	147.28
L3	N 17°23' E	192.15
L4	N 17°23' E	260.49
L5	N 87°52'21" W	372.50
L6	S 72°48'03" E	171.59
L7	N 72°48'03" E	10.00
L8	N 89°42'37" W	16.00
L9	N 87°52'21" W	140.14
L10	N 43°11'52" W	23.22

CURVE	ARC	DELTA	RADIUS
C1	77.81	89°09'44"	50.00
C2	87.01	90°38'22"	55.00
C3	17.25	6°35'26"	150.00
C4	42.70	16°19'51"	150.00
C5	112.64	41°38'15"	155.00
C6	116.29	22°12'36"	300.00
C7	143.59	62°16'17"	100.00
C8	103.36	55°13'25"	100.00
C9	43.50	45°19'11"	55.00



LEGAL DESCRIPTION:
 THE SOUTH HALF OF LOT 3, BLOCK 2, PLAT OF BURLEY'S GARDEN TRACTS, AS PER PLAT RECORDED IN VOLUME 9 OF PLATS, PAGE 1, RECORDS OF SNOHOMISH COUNTY, WASHINGTON. EXCEPT THE EAST 15 FEET THEREOF CONVEYED TO THE COUNTY OF SNOHOMISH BY DEED RECORDED UNDER AUDITOR'S FILE NUMBER 2299046.; ALSO LOT 4, BLOCK 2, BURLEY'S GARDEN TRACTS, AS PER PLAT RECORDED IN VOLUME 9 OF PLATS, PAGE 1, RECORDS OF SNOHOMISH COUNTY, WASHINGTON. EXCEPT THE EAST 15 FEET THEREOF CONVEYED TO SNOHOMISH COUNTY BY DEED RECORDED UNDER AUDITOR'S FILE NUMBER 800616204; TOGETHER WITH THAT PORTION OF THE NORTH HALF OF THE VACATED 152nd STREET S.E. WHICH WOULD ATTACH BY OPERATION OF LAW.
 SITUATE IN THE COUNTY OF SNOHOMISH, STATE OF WASHINGTON.

DATUM NOTES:
 1) VERTICAL DATUM: NGVD 1929 (PER ROAD & STORM PLANS HAMLIN PARK (PARKSIDE))
 BM#1: MON RIM - VILLAGE GREEN DRIVE & MILL CREEK 17 ENTRANCE. ELEVATION = 410.30
 BM#2: RIM SAN MH 5' WEST & 3' NORTH OF NORTHEAST CORNER LOT 35, PLAT OF PARKSIDE. ELEVATION = 449.58
 BM#3: RIM SAN MH 8' NORTHWEST OF CTR SAC 154TH STREET S.E., PLAT OF PARKSIDE. ELEVATION = 449.29 AB
 INV = 431.67 AB VS 431.63 RECORD
 BM#4: HGG TRAVERSE POINT #34 (IRON REBAR WITH RED PLASTIC CAP) AT SOUTHEAST CORNER TENNIS COURT AT 3225 SEATTLE HILL ROAD. ELEVATION = 447.81
 BM#5: HGG TRAVERSE POINT #23 (IRON REBAR WITH RED PLASTIC CAP) 35' SOUTH AND 1' EAST OF NORTHEAST PROPERTY CORNER. ELEVATION = 443.48
 BM#6: RR SPIKE 1' UP NORTH SIDE 15' HEMLOCK 25' SOUTH OF PI MON AS PROVIDED BY TRIAD & ASSOCIATES. ELEVATION = 444.56

THE ABOVE REFERENCED ROAD AND STORM PLANS USE THE TERM MEAN SEA LEVEL AS THE SOURCE DATUM. MEAN SEA LEVEL IS AN OFTEN USED MISNOMER INTENDED TO MEAN NATIONAL GEODETIC VERTICAL DATUM (NGVD) 1929. THE ABOVE REFERENCED BENCHMARK WAS UTILIZED AND THE RESULTANT AS-BUILT ELEVATIONS COMPARED FAVORABLY WITH OTHER AS-BUILT INFORMATION AVAILABLE FROM ALDERWOOD WATER DISTRICT. BASED ON THIS INFORMATION ONLY, IT WAS CONCLUDED THAT THE DATUM OF RECORD WAS NGVD 1929.

2) HORIZONTAL DATUM:
 BASIS OF POSITION: NE CORNER SEC. 5-27-5
 BASIS OF BEARING: HELD NORTH SECTION LINE BETWEEN NE CORNER SEC. 5 AND N QUARTER CORNER SECTION 5 TO BE N 88°12'22" W PER RECORD OF SURVEY BY WILSEY & HAM INC. AS RECORDED IN VOL. 1 OF SURVEYS, PG. 169, RECORDS OF SNOHOMISH COUNTY.
 3) THIS MAP REPRESENTS A PRELIMINARY DRAINAGE INVESTIGATION RELATED TO THE PLAT OF SUNRISE AT MILL CREEK. IT DOES NOT REPRESENT A COMPLETE TOPOGRAPHIC MAP.
 4) R.O.W. INFO HEREON IS SHOWN GRAPHICALLY PER PUBLICLY AVAILABLE RECORDS AND DOES NOT REPRESENT SURVEYED OWNERSHIP LINES.
 5) ELEVATIONS SHOWN ALONG 35TH AVE SE (YORK RD) ARE SHOWN PER FIELD NOTES OBTAINED FROM CITY OF MILL CREEK. DATUM TRANSFER WAS ACCOMPLISHED USING POINTS COMMON TO CITY OF MILL CREEK SURVEY & GOLDSMITH SURVEY.
 6) PAVEMENT ALIGNMENT SHOWN HEREON IS FOR GRAPHIC ORIENTATION ONLY AND WAS NOT FIELD LOCATED.
 7) STORM SEWER WITHIN SEATTLE HILL ROAD IS UNDER CONSTRUCTION. RIM ELEVATIONS WILL CHANGE.

LEGEND:
 ● STREET MONUMENT IN CASE (TYP.)
 ⊕ PLAT BOUNDARY CORNER

INDEX:

SHEET NO.	DESCRIPTION
1	OVERALL PLAN
2	STORM DRAINAGE PLAN
3	STORM DRAINAGE PROFILE
4	PAVING, DRAINAGE DETAILS & NOTES
5	T.E.S.C.P., DETAILS & NOTES

POSTMASTER APPROVAL
 FOR MAILBOX LOCATIONS

POSTMASTER: _____
 APPROVAL DATE: _____
 SIGNATURE: _____

APPROVED FOR CONSTRUCTION
 CITY OF MILL CREEK

[Signature]
 CITY ENGINEER
 DATE: 12/15/92

HUGH G. GOLDSMITH & ASSOCIATES, INC.
 Consulting Engineers • Surveyors • Planners

CONIFER BUILDING - SUITE 100
 Bellefield Office Park
 1450 114th Avenue S.E.
 Bellevue, Washington 98004 (206) 462-1080

REV. NO.	DATE	DESCRIPTION	MADE BY	CHECKED	REV. NO.	DATE	DESCRIPTION	MADE BY	CHECKED
1	5-92	REV. PER CITY OF MILL CREEK FIRST REVIEW	H.W.	B.R.F.					

SCALE: 1"=50'

DRAWN: H.W.
 DATE: 2/92
 APPROVED: T.M.U.
 FIELD BOOK:
 PAGE:
 ACAD DWG.: 910520

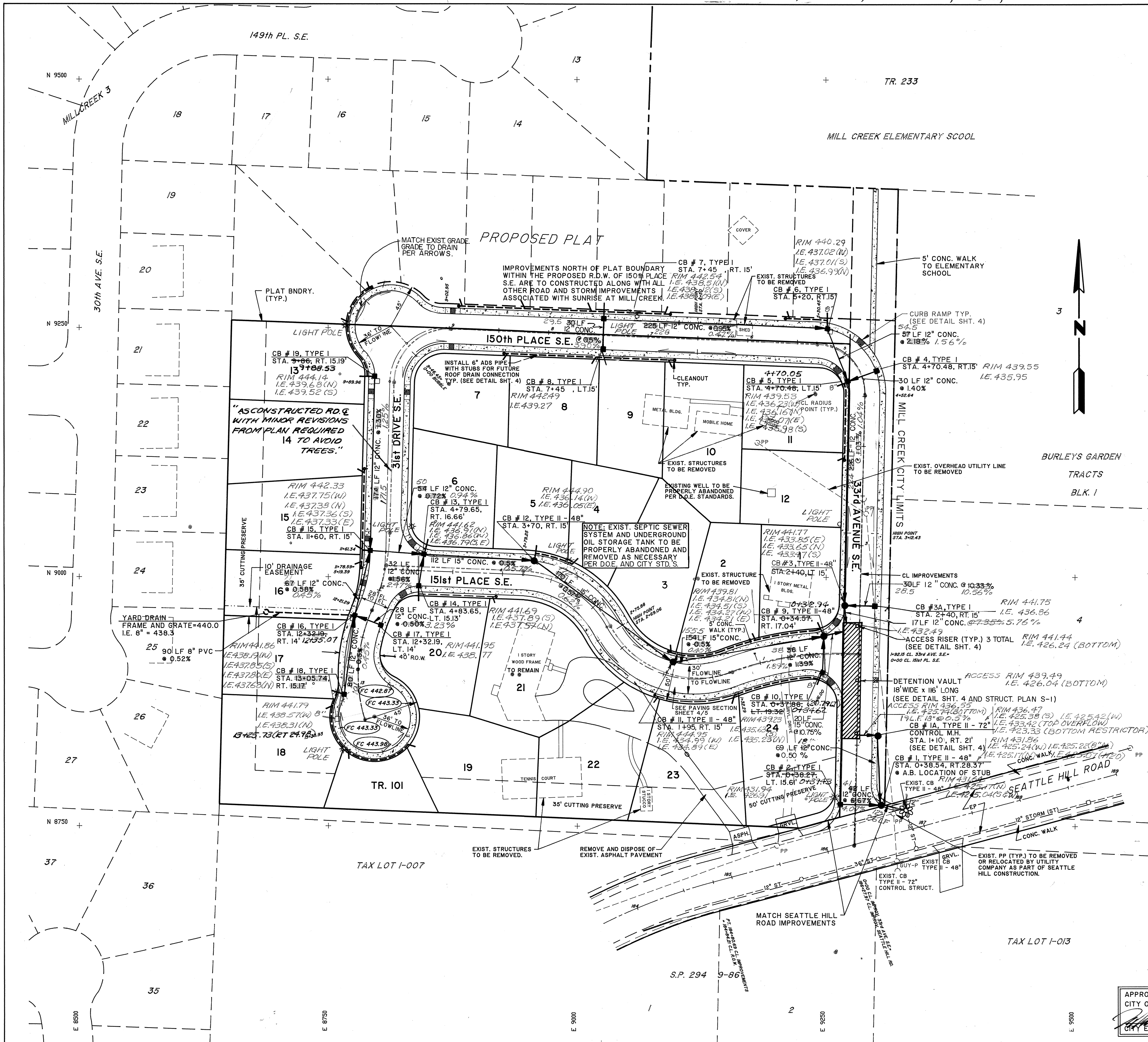
LANCASTER HOMES, INC.

OVERALL PLAN SHEET

SUNRISE AT MILL CREEK

CITY OF MILL CREEK WASHINGTON

JOB NO. 92500
 SHEET 1 / 5



- STREET AND EARTHWORK - GENERAL NOTES**
1. ALL R.O.W. EMBANKMENTS SHALL BE CONSTRUCTED OF SUITABLE NATIVE SOILS EXCAVATED FROM ONSITE EXCAVATION AREAS. THE CONTRACTOR SHALL SECURE SPECIFIC APPROVAL OF FILL MATERIAL TO BE USED (FROM THE OWNER OR ENGINEER) PRIOR TO PLACEMENT OF ANY EMBANKMENTS.
 2. PRIOR TO PLACING ROAD EMBANKMENTS, ALL TOPSOIL, UNSUITABLE MATERIAL, VEGETATION OR DEBRIS, AND STANDING WATER SHALL BE REMOVED. EMBANKMENTS SHALL BE PLACED ON A UNIFORMLY HARD, UNYIELDING BASE.
 3. COMPACTION CONTROL IN R.O.W. THE PROVISIONS OF SECTION 2-03 OF THE WSDOT/APWA STANDARD SPECIFICATIONS APPLY IN ALL RESPECTS TO R.O.W. CONSTRUCTION UNLESS OTHERWISE SPECIFICALLY NOTED. THE FOLLOWING ELEMENTS ARE MENTIONED FOR CLARIFICATION AND EMPHASIS:
 - A. EMBANKMENT AND CUT SECTION COMPACTION: COMPACTION OF THE TOP TWO FEET OF FILL SUBGRADE AND TOP 6 INCHES OF CUT SUBGRADE SHALL MEET A MINIMUM 95% OF MAXIMUM DENSITY IN ACCORDANCE WITH WSDOT/APWA STANDARD SPECIFICATIONS SECTION 2-03.3(4)C - METHOD B. SUBGRADE FILL BELOW THE TOP TWO FEET SHALL BE COMPACTED TO 90% OF MAXIMUM DENSITY.
 - B. TESTING FOR DENSITY
 1. PRIOR TO PLACING ANY SURFACING MATERIAL ON THE ROADWAY, IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE DENSITY TEST REPORTS CERTIFIED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF WASHINGTON. OPTIMUM MOISTURE CONTENT AND MAXIMUM DENSITY SHALL BE DETERMINED BY METHODS CITED IN SECTION 2-03.3(4)D OF WSDOT/APWA STANDARD SPECIFICATIONS OR BY OTHER TEST PROCEDURES APPROVED BY THE COUNTY ROAD ENGINEER. IN FILL SECTIONS A MINIMUM OF ONE TEST SHALL BE TAKEN FOR EVERY 300 FEET OF ROADWAY AND ON EACH LIFT OF EMBANKMENT. IN CUT SECTIONS THE INTERVAL SHALL BE EVERY 200 FEET OF ROADWAY. FOR WORK TO BE ACCEPTED TEST MUST SHOW CONSISTENT UNIFORM DENSITY AS REQUIRED BY TESTS REFERENCED ABOVE.
 2. IN CASES WHERE TESTS DO NOT MEET THE MINIMUM STANDARD, CORRECTIVE ACTION SHALL BE TAKEN SUCH AS ADDING WATER, AERATING, REPLACING MATERIAL OR APPLYING MORE COMPACTIVE EFFORT AS DIRECTED BY THE DEVELOPER'S ENGINEER. RETESTS SHALL SHOW PASSING DENSITIES PRIOR TO.
 3. FOR THE TRENCHING IN EXISTING ROAD EMBANKMENTS, SEE SECTION 8.03 KING COUNTY ROAD STANDARDS. BACKFILL COMPACTION SHALL BE DONE BY MECHANICAL MEANS.
 - 4. IN THE EVENT THAT SUB-BASE STABILITY (95% COMPACTION) CANNOT BE OBTAINED BENEATH SURFACING, THEN A SELECT IMPROVED MATERIAL (GRAVEL BASE CLASS "B") SHALL BE REQUIRED BEFORE ANY PAVING CAN TAKE PLACE.
 - 5. ALL EXCESS EXCAVATED MATERIAL NOT USED FOR ROAD EMBANKMENTS OR LOT FILLS AS SHOWN ON THE PLANS SHALL BE DEPOSITED AS DIRECTED BY THE OWNER. ANY FILL ON LOT AREAS SHALL BE CONSIDERED "LOT FILLS" AND SHALL CONFORM TO THE GENERAL NOTES FOR LOT EMBANKMENTS BELOW.
 - 6. AREAS OTHER THAN ROADWAYS, WHERE CONSTRUCTION REQUIRES THE REMOVAL OF SOD, ETC., SHALL NOT BE LEFT EXPOSED FOR GREATER THAN 30 DAYS. AREAS SHALL BE SEEDED WITH THE FOLLOWING MIXTURE: ANNUAL RYEGRASS @ 100 LBS/AC. "GRASS SEEDING WILL BE DONE USING AN APPROVED TYPE HYDRO-SEEDER, OR AS OTHERWISE APPROVED BY THE CITY OF MILL CREEK DEPARTMENT OF PUBLIC WORKS. THE PERFORMANCE BOND WILL NOT BE RELEASED UNTIL THE GRASS IS ESTABLISHED UNLESS OTHERWISE APPROVED BY THE CITY OF MILL CREEK DEPARTMENT OF PUBLIC WORKS."
 - 7. WHERE NEW PAVING MUST MATCH EXISTING PAVING, APPLY BOND FOR PROPER SEAL.
 - 8. THE OWNER AND THE CITY OF MILL CREEK DEPARTMENT OF PUBLIC WORKS SHALL BE NOTIFIED IN ADVANCE OF THE COMMENCEMENT OF ANY CLEARING. NO LAND SHALL BE CLEARED UNLESS IT IS SPECIFICALLY FLAGGED FOR CLEARING IN THE FIELD AND ALL NECESSARY PROTECTION FENCING HAS BEEN INSTALLED AND APPROVED BY THE CITY OF MILL CREEK DEPARTMENT OF PUBLIC WORKS. DURING GRADING OPERATIONS, ROCKERIES MAY BE USED TO RETAIN EXISTING SPECIMEN TREES AT OWNER'S OPTION. ALL ROCKERIES SHALL BE CITY OF MILL CREEK STANDARD.
 - 9. ALL SITE GRADING SHALL IN GENERAL CONFORM TO REQUIREMENTS OF THE CITY OF MILL CREEK AND SHALL NOT CONFLICT WITH CONDITIONS OF PRELIMINARY PLAT APPROVAL.

- LOT EMBANKMENTS - GENERAL NOTES**
1. LOT FILLS ARE CLASSIFIED AS STRUCTURAL FILL UNLESS THE OWNER SPECIFICALLY DIRECTS OTHERWISE IN THE FIELD. STRUCTURAL LOT FILLS SHALL BE MADE UNDER THE DIRECT SUPERVISION OF THE OWNERS SOILS ENGINEER.
 2. PRIOR TO PLACING STRUCTURAL LOT FILLS, REMOVE ALL VEGETATION, UNSUITABLE MATERIAL AND STANDING WATER. STRUCTURAL FILLS SHALL BE PLACED ON A UNIFORMLY HARD UNYIELDING BASE. THE OWNER'S SOILS ENGINEER MUST APPROVE THE CONDITION OF THE BASE PRIOR TO FILL PLACEMENT.
 3. STRUCTURAL LOT FILLS SHALL BE CONSTRUCTED OF SUITABLE NATIVE SOILS EXCAVATED FROM ONSITE AREAS. THE SUITABILITY OF ONSITE SOILS FOR USE AS STRUCTURAL FILL MATERIAL SHALL BE DETERMINED BY THE OWNER'S SOILS ENGINEER. MAKE NO FILLS UNTIL THIS APPROVAL IS SECURED.
 4. STRUCTURAL LOT FILLS SHALL BE COMPACTED IN LIFTS TO DENSITY SPECIFICATIONS DICTATED BY THE OWNER'S SOILS ENGINEER.

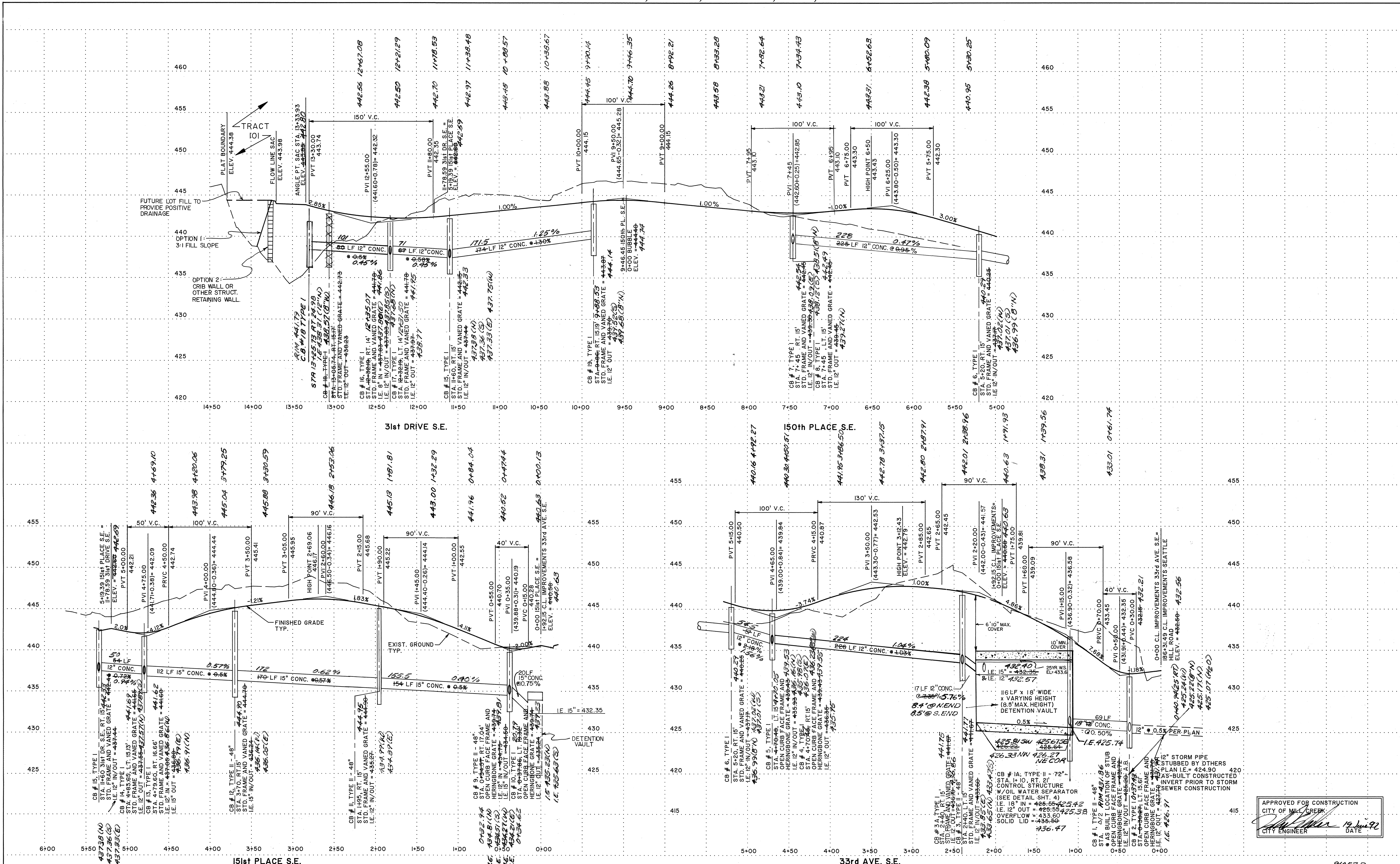
APPROVED FOR CONSTRUCTION
CITY OF MILL CREEK
CITY ENGINEER
DATE 12/1/92

HUGH G. GOLDSMITH & ASSOCIATES, INC.
Consulting Engineers • Surveyors • Planners
CONIFER BUILDING - SUITE 100
Bellevue Office Park
1450 114th Avenue S.E.
Bellevue, Washington 98004 (206) 462-1080

REV. NO.	DATE	DESCRIPTION	MADE BY	CHECKED	REV. NO.	DATE	DESCRIPTION	MADE BY	CHECKED
1	4/15/94	AS-BUILT FB 2051/51 (SEE NOTE ON COVER SHEET)	K. MECK	W.R.					
					5	7-27-92	MOVE CB#1 PER SANITARY SEWER	H.W.	T.M.U.
					4	7-9-92	REV. VAULT LOCATION AND LOCATION OF CB'S #1A AND 3	H.W.	B.P.F.
					3	7-8-92	REV. LOCATION OF CB'S 7+8, REV. FG. IN N.W. SAC	H.W.	B.P.F.
					2	6-16-92	LENGTHENED DET. VAULT, ADDED ACCESS RISER TO VAULT	H.W.	B.P.F.
					1	5-92	REV. PER CITY OF MILL CREEK FIRST REVIEW	H.W.	B.P.F.

SCALE: 1"=50'
DRAWN: H.W.
DATE: 2/92
APPROVED: T.M.U.
FIELD BOOK:
PAGE:
ACAD DWG.: 910520

LANCASTER HOMES, INC.
JOB NO. 92500
SHEET 2/5
ROAD AND STORM SEWER OVERALL PLAN
SUNRISE AT MILL CREEK
CITY OF MILL CREEK WASHINGTON



APPROVED FOR CONSTRUCTION
 CITY OF MILL CREEK
 CITY ENGINEER
 DATE 19 JUN 92

HUGH G. GOLDSMITH & ASSOCIATES, INC.
 Consulting Engineers • Surveyors • Planners
 CONIFER BUILDING - SUITE 100
 Bellefield Office Park
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 Bellevue, Washington 98004 (206) 462-1080

REV. NO.	DATE	DESCRIPTION	MADE BY	CHECKED	REV. NO.	DATE	DESCRIPTION	MADE BY	CHECKED
1	6/15/94	AS-BUILT FB 2051/51 (SEE NOTE ON COVER SHEET)	KNEEK	JA					
					5	7-27-92	MOVE CB # 11	H.W.	T.M.U.
					4	7-9-92	REVISE VAULT, I.E. CB # 1 NOTE AS-BUILT	H.W.	B.P.F.
					3	7-8-92	REVISED ROAD GRADES 150th PL. S.E. STA. 6+95 TO STA. 12+55 (PER CLIENT)	H.W.	B.P.F.
					2	6-16-92	LENGTHENED DET. VAULT, REVISED LOCATION OF CB # 3	H.W.	B.P.F.
					1	5-92	REV. PER CITY OF MILL CREEK FIRST REVIEW	H.W.	B.P.F.

SCALE: HORIZ. 1"=50'
 VERT. 1"=5'

DRAWN: H.W.
 DATE: 2/92
 APPROVED: T.M.U.
 FIELD BOOK:
 PAGE:
 ACAD DWG.: 91052PP

HUGH G. GOLDSMITH & ASSOCIATES, INC.
 REGISTERED PROFESSIONAL ENGINEERS
 WASHINGTON
 EXPIRES 10/97

THOMAS M. UHLEN
 REGISTERED PROFESSIONAL ENGINEER
 WASHINGTON
 EXPIRES 9/10/97

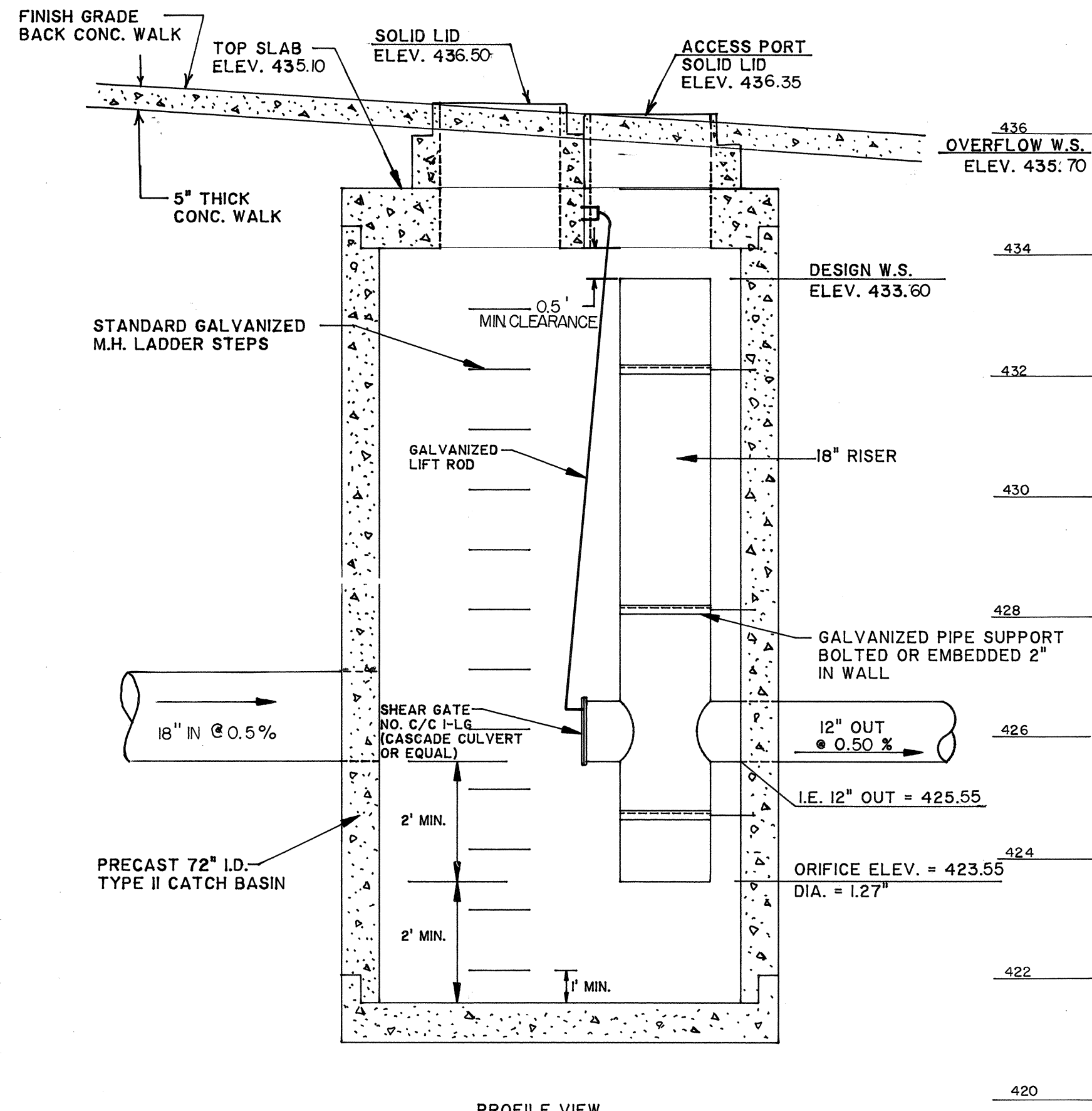
LANCASTER HOMES, INC.

PROFILE SHEET
SUNRISE AT MILL CREEK

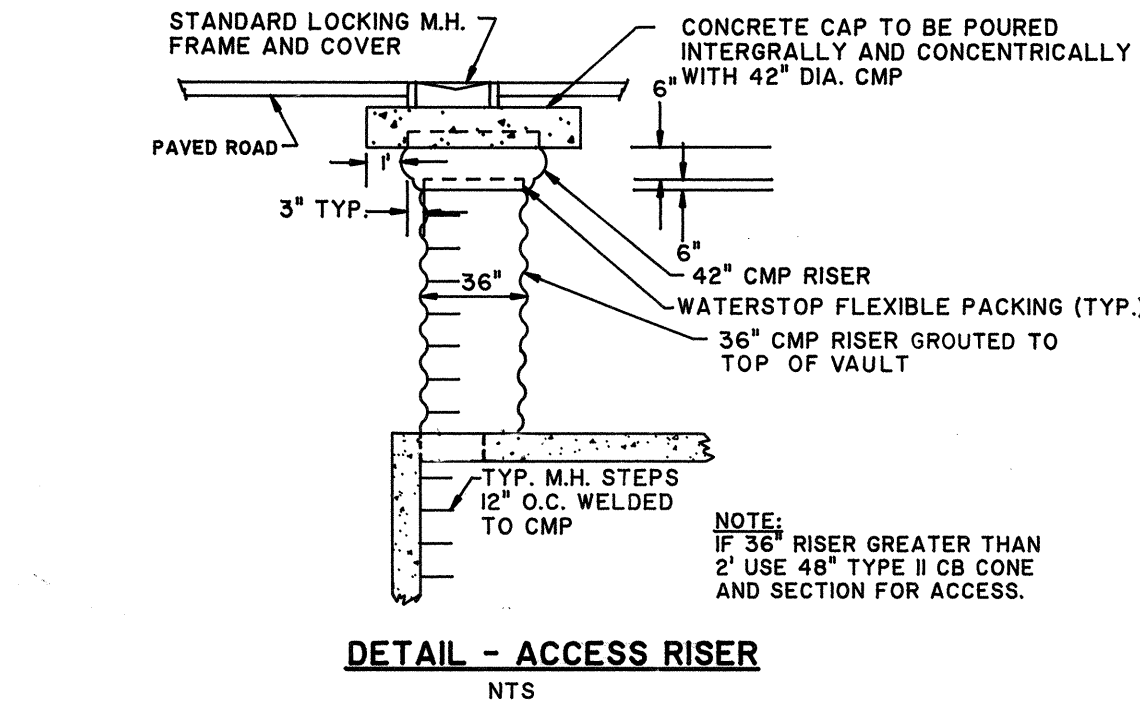
CITY OF MILL CREEK WASHINGTON

JOB NO. 92500
 SHEET 3 / 5

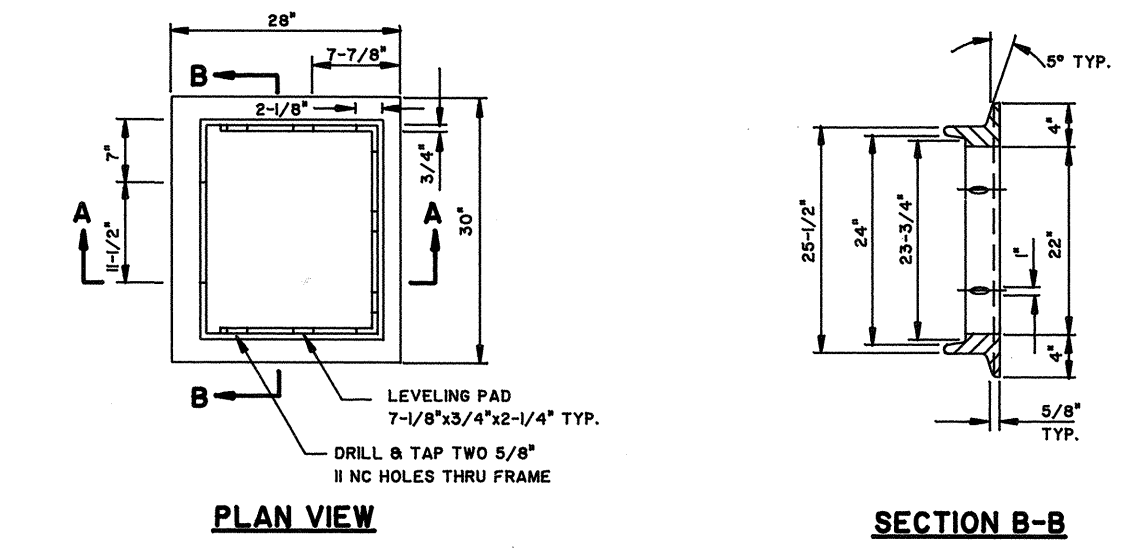
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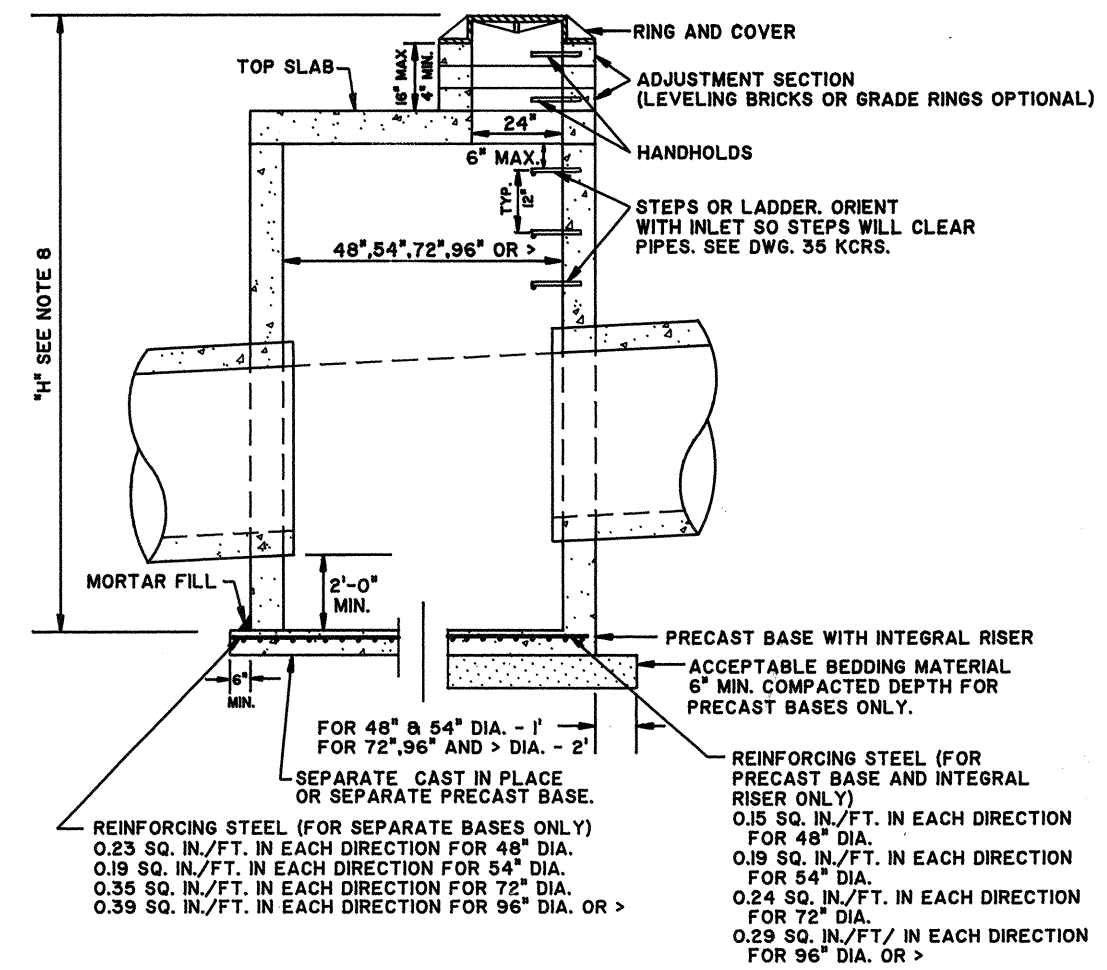
CB # 1A, 72" I.D. - TYPE II CONTROL M.H.
SCALE: 1" = 2'
REF. MILL CREEK STD. PLAN NO. STM07A



DETAIL - ACCESS RISER
N.T.S.



OPEN CURB FACE FRAME
N.T.S.

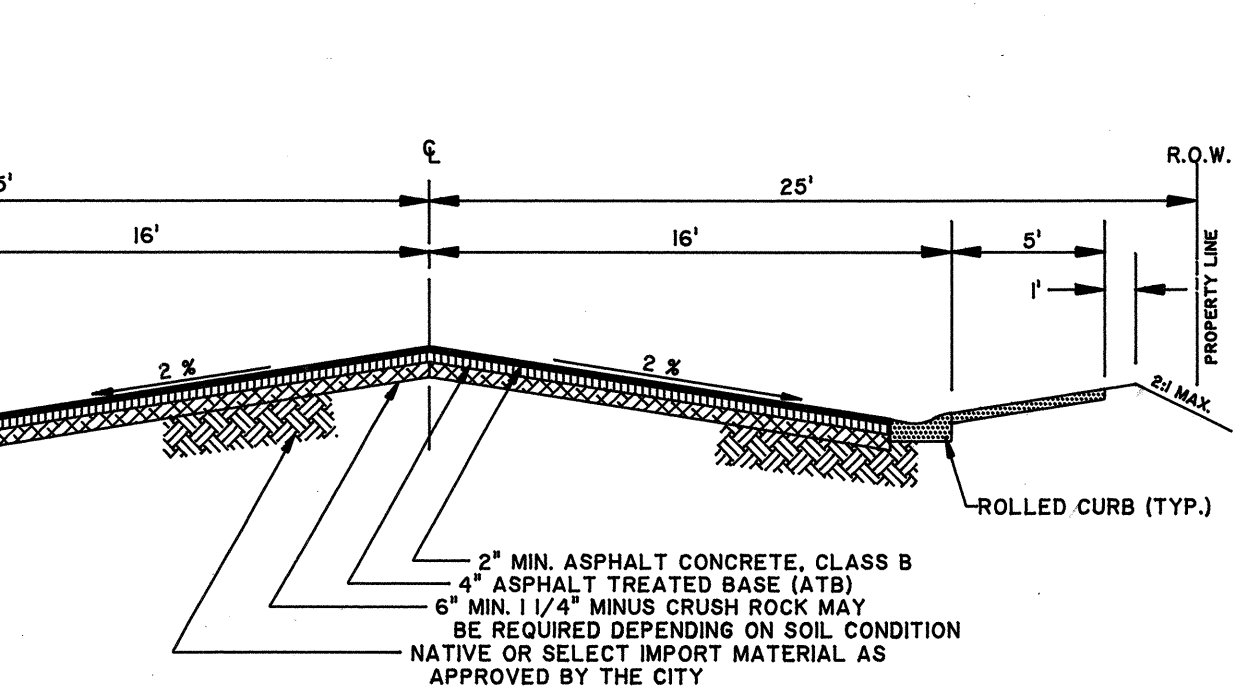


CATCH BASIN - TYPE 2
REF. W.S.D.O.T. STANDARD PLAN B-16 AND B-17
N.T.S.

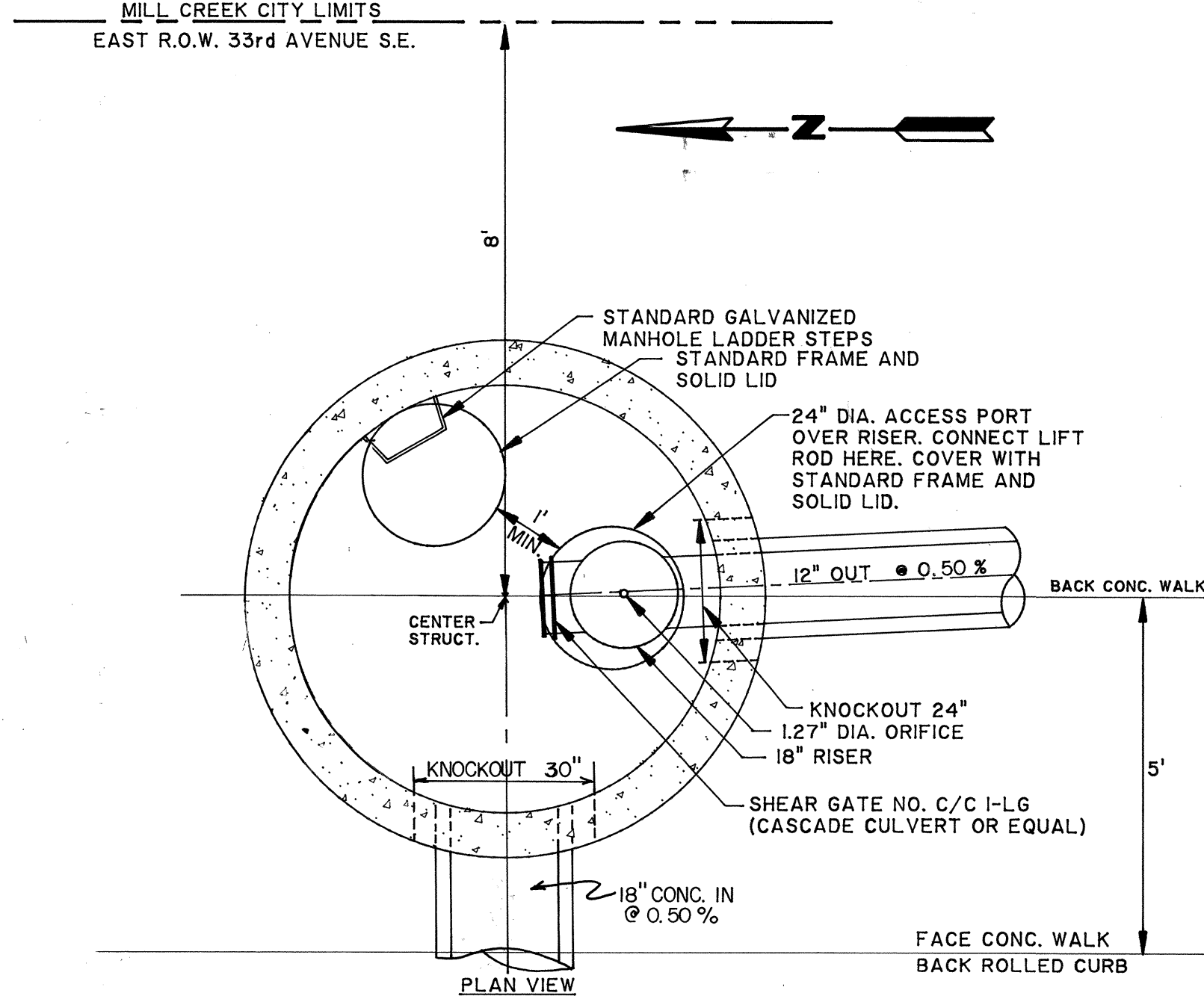
- NOTES:**
- CATCH BASINS TO BE CONSTRUCTED IN ACCORDANCE WITH AASHTO M-195 UNLESS OTHERWISE SHOWN ON PLANS OR NOTED IN THE STANDARD SPECIFICATIONS.
 - HANDHOLES IN ADJUSTMENT SECTION SHALL HAVE 3" MINIMUM CLEARANCE. STEPS IN CATCH BASIN SHALL HAVE 6" MINIMUM CLEARANCE. SEE DWG. NO. 39 KCRS. "CATCH BASIN DETAIL 2"
 - ALL REINFORCED CAST IN PLACE CONCRETE SHALL BE CLASS A. ALL PRECAST CONCRETE SHALL BE CLASS A.
 - PRECAST BASES SHALL BE FURNISHED WITH CUTOUTS OR KNOCKOUTS. KNOCKOUTS SHALL HAVE A WALL THICKNESS OF 2" MINIMUM UNLESS KNOCKOUTS NEED NOT BE GROUDED IF WALL IS LEFT INTACT. PIPES SHALL BE INSTALLED ONLY IN FACTORY KNOCKOUTS UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER.
 - KNOCKOUT OR CUTOUT HOLE SIZE IS EQUAL TO PIPE OUTER DIAMETER PLUS CATCH BASIN WALL THICKNESS. MAXIMUM HOLE SIZE IS 36" FOR 48" CATCH BASIN, 42" FOR 60" CATCH BASIN. MINIMUM DISTANCE BETWEEN HOLES IS 6" MAXIMUM HOLE SIZE IS 60" FOR 72" CATCH BASIN, 64" FOR 96" OR > CATCH BASIN. MINIMUM DISTANCE BETWEEN HOLES IS 12".
 - CATCH BASIN RINGS AND COVERS SHALL BE IN ACCORDANCE WITH STANDARD SPECIFICATIONS AND MEET THE STRENGTH REQUIREMENTS OF FEDERAL SPECIFICATIONS R-14-422. MATING SURFACES SHALL BE FINISHED TO ASSURE NON-ROCKING FIT WITH ANY COVER POSITION.
 - ALL BASE REINFORCING STEEL SHALL HAVE A MINIMUM YIELD STRENGTH OF 60,000 PSI AND BE PLACED IN THE UPPER HALF OF THE BASE WITH 1" MINIMUM CLEARANCE.
 - FOR HEIGHTS 1" OF 12" OR LESS, MINIMUM SOIL BEARING VALUE SHALL EQUAL 3,000 POUNDS PER SQUARE FOOT. FOR HEIGHTS OVER 12" MINIMUM SOIL BEARING VALUE SHALL EQUAL 3,000 POUNDS PER SQUARE FOOT.
 - FOR DETAILS SHOWING GRADE RING, LADDER, STEPS, HANDHOLES AND TOP SLABS, SEE STANDARD PLAN "MISCELLANEOUS CATCH BASIN DETAILS".
 - SEE THE WSDOT / APWA STANDARD SPECIFICATIONS SECTION 7-05.3 FOR JOINT REQUIREMENTS.

- GENERAL NOTES:**
- ALL CONSTRUCTION SHALL CONFORM TO THE STANDARDS OF THE CITY OF MILL CREEK AND THE LATEST APWA REQUIREMENTS.
 - BEFORE ANY CONSTRUCTION ACTIVITY OCCURS, A PRE-CONSTRUCTION MEETING MUST BE HELD WITH THE CITY ENGINEER.
 - ALL SEDIMENT/EROSION FACILITIES MUST BE IN PLACE AND OPERATIONAL PRIOR TO CLEARING AND CONSTRUCTION ACTIVITIES.
 - ALL DISTURBED AREAS SHALL BE HYDROSEEDING AND/OR MULCHED IF LEFT UNWORKED FOR OVER 30 DAYS.
 - ALL PIPE AND APPURTENANCES SHALL BE LAID ON A PROPERLY PREPARED FOUNDATION IN ACCORDANCE WITH SECTION 7-02.3(1) OF THE CURRENT STATE OF WASHINGTON STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION. THIS SHALL INCLUDE NECESSARY LEVELING OF THE TRENCH BOTTOM OR THE TOP OF THE FOUNDATION MATERIAL AS WELL AS PLACEMENT AND COMPACTION OF REQUIRED BEDDING MATERIAL TO UNIFORM GRADE SO THAT THE ENTIRE LENGTH OF THE PIPE WILL BE SUPPORTED ON A UNIFORMLY DENSE UNYIELDING BASE. IF THE NATIVE MATERIAL IN THE BOTTOM OF THE TRENCH MEETS THE REQUIREMENTS FOR "GRAVEL BACKFILL FOR PIPE BEDDING" THE FIRST LIFT OF PIPE BEDDING MAY BE OMITTED PROVIDED THE MATERIAL IN THE BOTTOM OF THE TRENCH IS LOOSENEED, REGRADED AND COMPACTED TO FORM A DENSE UNYIELDING BASE.
 - ALL BUILDING DOWNSPOUTS AND FOOTING DRAINS SHALL BE CONNECTED TO THE STORM DRAINAGE SYSTEM, UNLESS OTHERWISE APPROVED BY THE CITY.
 - ALL FILL AREAS SHALL BE COMPACTED IN MAXIMUM 8-INCH LIFTS AND COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY PER ASTM D-1557.
 - ALL TRENCH BACKFILL MATERIAL SHALL BE COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY PER ASTM D-1557.
 - STORM DRAINAGE PIPE SHALL BE AS FOLLOWS:
6" PVC LOT DRAIN: ASTM 3034 SDR 35
8" CMP ALUMINUM 16 GAUGE, 2 2/3" x 1/2" CORRUGATED
12" PVC ASTM D3040 SDR 35
12" CMP ALUMINUM 16 GAUGE, 2 2/3" x 1/2" CORRUGATED
12", 15" AND 18" CONCRETE, NCRP, C-14, CLASS 2
21" CONCRETE, REINFORCED ASTM C-76, CLASS IV.

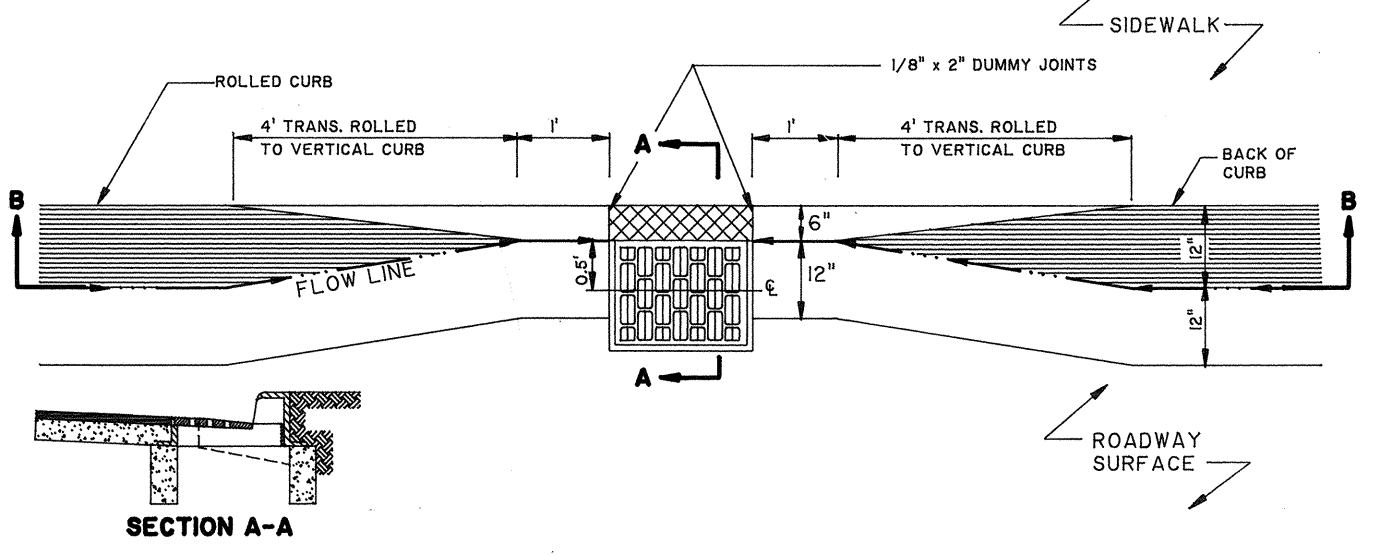
- ALTERNATE:**
- 18" AND 21" ALUMINUM "SMOOTHWALL" SPIRAL RIB PIPE, 16 GAGE, 3/4" x 3/4" RIBS @ 7 1/2" O.C.
- 6" PVC LOT DRAINS SHALL BE LAID AT MINIMUM SLOPE OF 1% WITH 2" MINIMUM COVER. A MAXIMUM OF 7 LOTS MAY BE SERVED WITH A 6" DRAIN. MORE THAN 7 LOTS REQUIRES AN 8" DIAMETER PVC DRAIN @ 1% SLOPE.



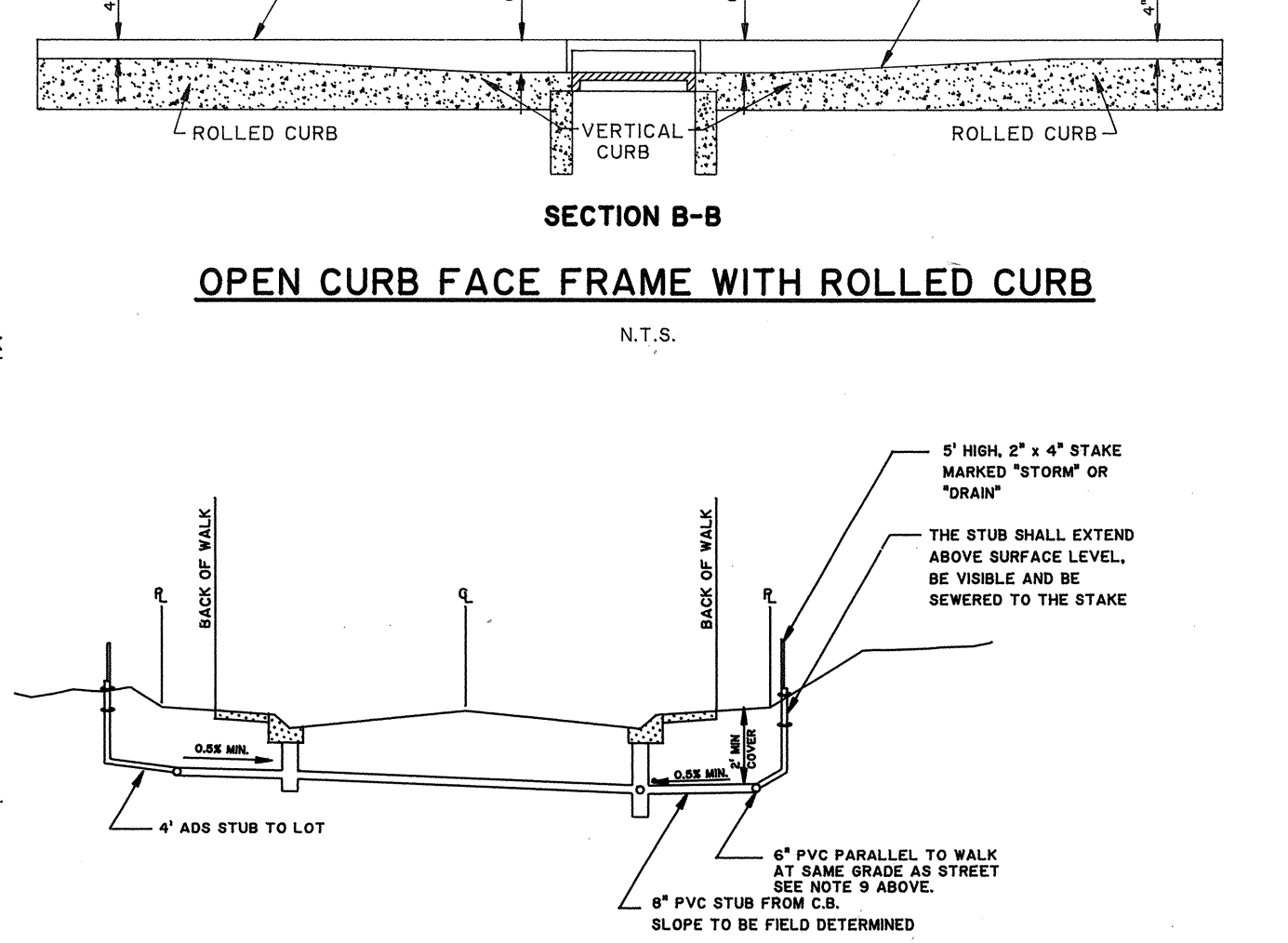
TYPICAL ROAD SECTION
N.T.S.
REF. MILL CREEK STD. PLAN NO.'S STROGA AND STROI



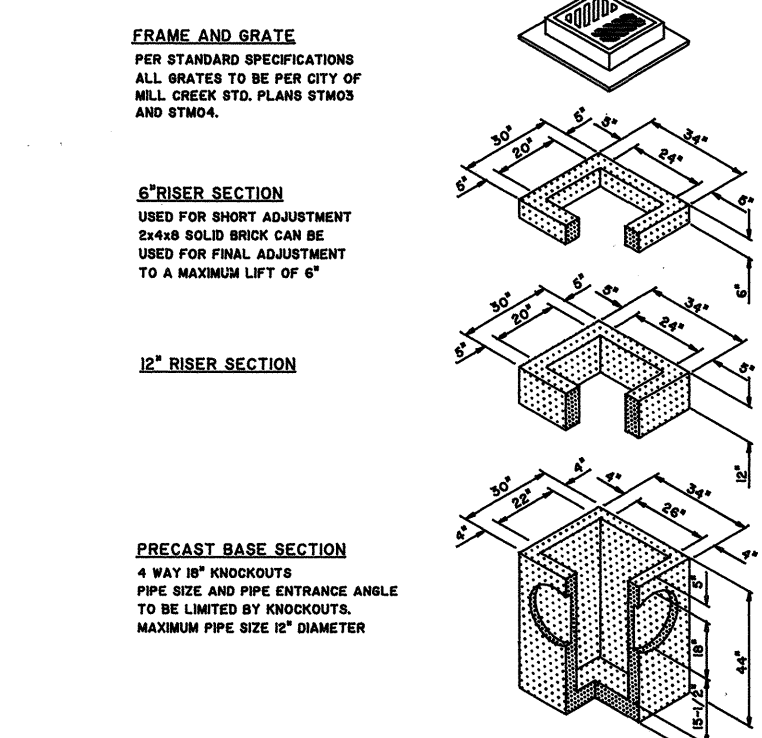
CB # 1A, 72" I.D. - TYPE II CONTROL M.H.
SCALE: 1" = 2'
REF. MILL CREEK STD. PLAN NO. STM07A



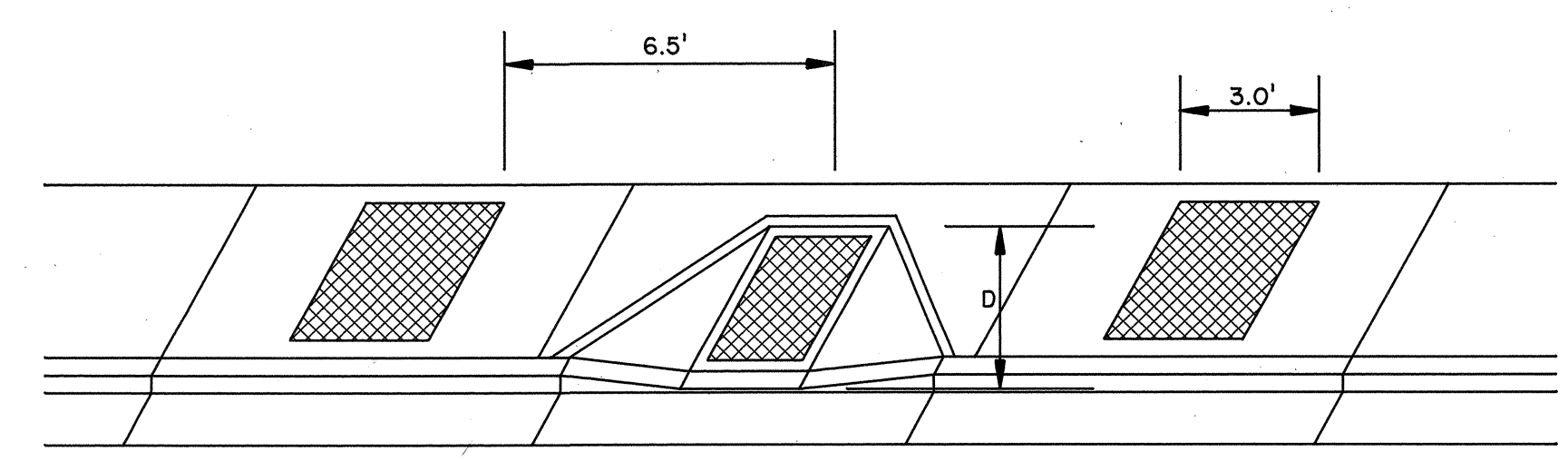
OPEN CURB FACE FRAME WITH ROLLED CURB
N.T.S.



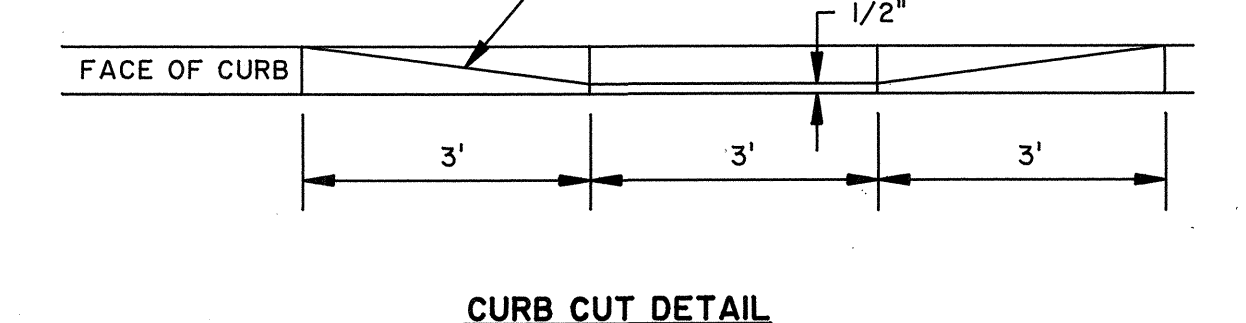
ROOF DRAIN LATERALS DETAIL
N.T.S.



CATCH BASIN TYPE 1
N.T.S.



TYPICAL RAMP AND ADVANCE WARNING DETAIL



CURB CUT DETAIL



MID-BLOCK HANDICAP RAMP
NO SCALE
REF. MILL CREEK STD. PLAN NO. STR2

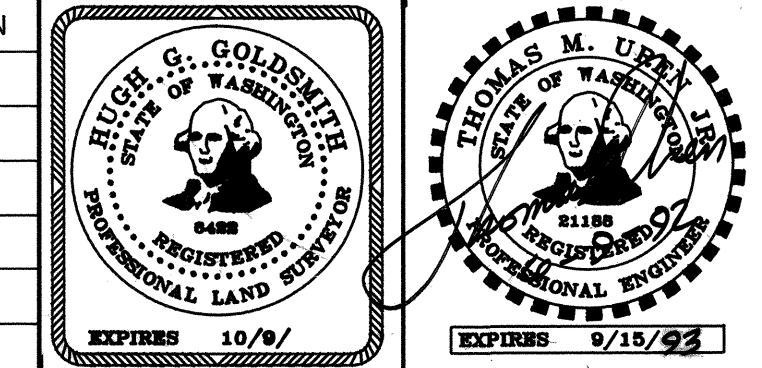
- NOTES:**
- DEPTH OF RAMP "D" SHALL BE DETERMINED BY THE ENGINEER AT A SLOPE NOT GREATER THAN 12:1 AND SHALL NOT BE LESS THAN 4".
 - TEXTURE PATTERN NOT TO EXCEED 1/2" WIDTH.
 - ADVANCE WARNINGS TO BE INSTALLED 6.5' FROM THE CENTER OF THE RAMP.
 - ALL SURFACES TO BE BROOM FINISHED.

ROLLED CURB & GUTTER
NO SCALE
REF. MILL CREEK STD. PLAN NO. 87903

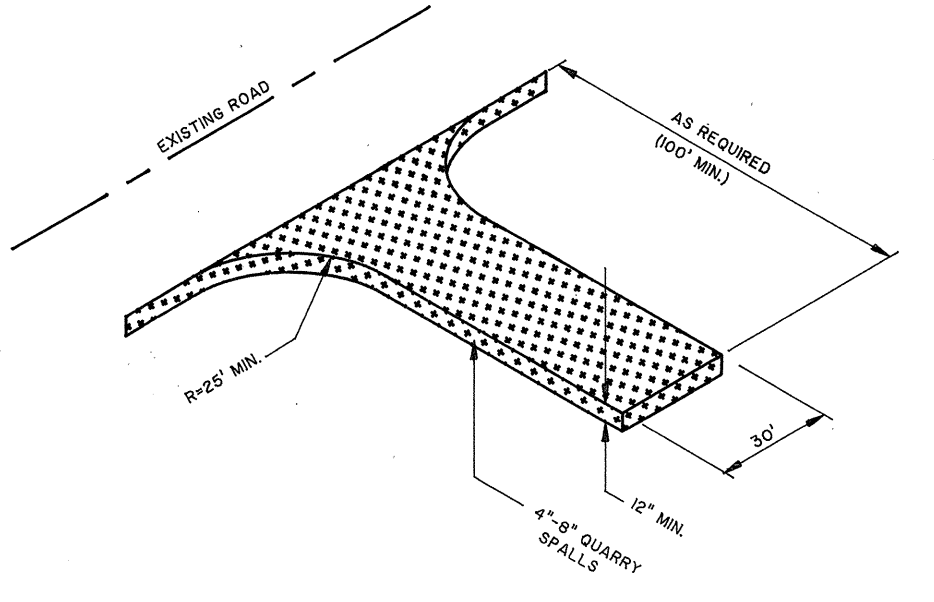
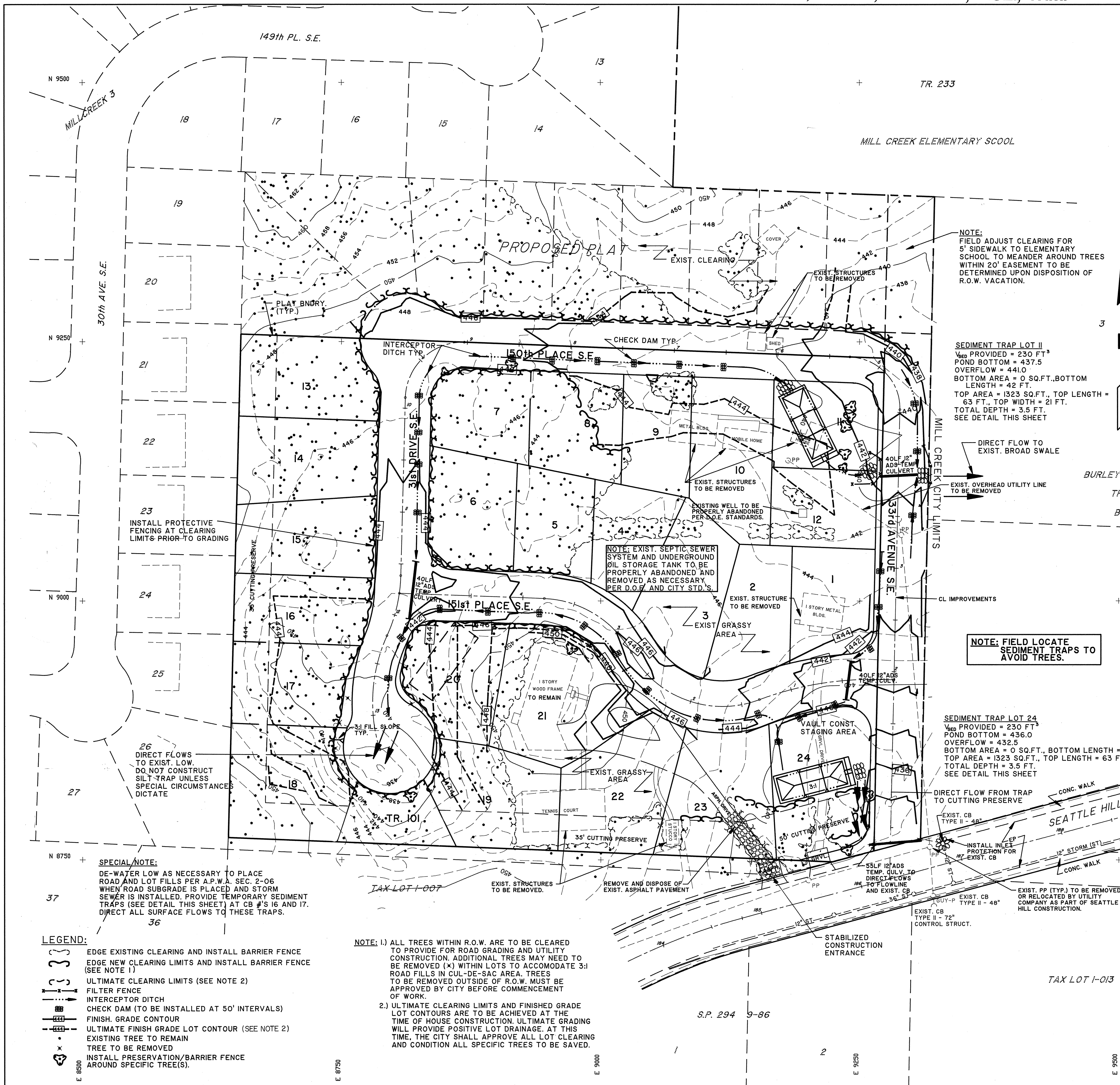
APPROVED FOR CONSTRUCTION
CITY OF MILL CREEK
CITY ENGINEER
DATE 1/15/92

HUGH G. GOLDSMITH & ASSOCIATES, INC.
Consulting Engineers • Surveyors • Planners
CONIFER BUILDING - SUITE 100
Bellevue Office Park
1450 114th Avenue S.E.
Bellevue, Washington 98004 (206) 462-1080

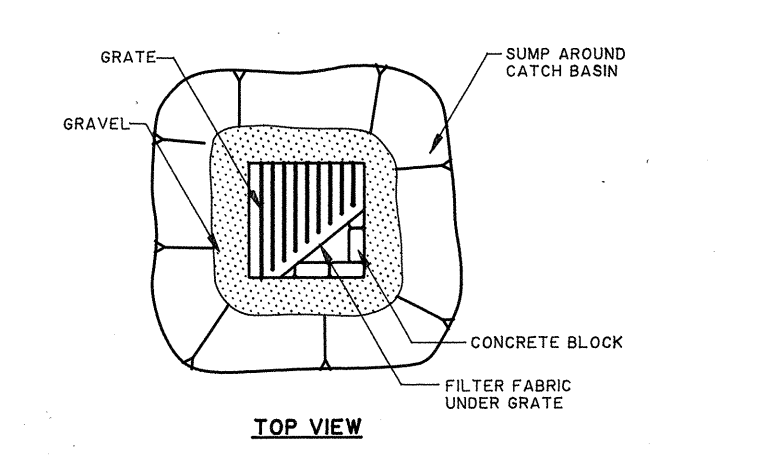
REV. NO.	DATE	DESCRIPTION	MADE BY	CHECKED	REV. NO.	DATE	DESCRIPTION	MADE BY	CHECKED
					3	7-9-92	REV. CB # 1	H.W.	B.P.F.
					2	6-16-92	REV. DESIGN W.S., TOP SLAB OF CB # 1A. ADDED ACCESS PORT ABOVE RISER CB # 1A.	H.W.	B.P.F.
					1	5-92	REV. PER CITY OF MILL CREEK FIRST REVIEW	H.W.	B.P.F.



LANCASTER HOMES, INC.
DETAIL SHEET
SUNRISE AT MILL CREEK
CITY OF MILL CREEK WASHINGTON
JOB NO. 92500
SHEET 4 / 5

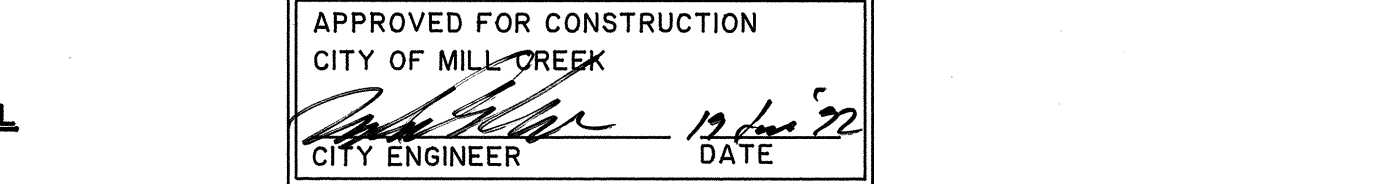
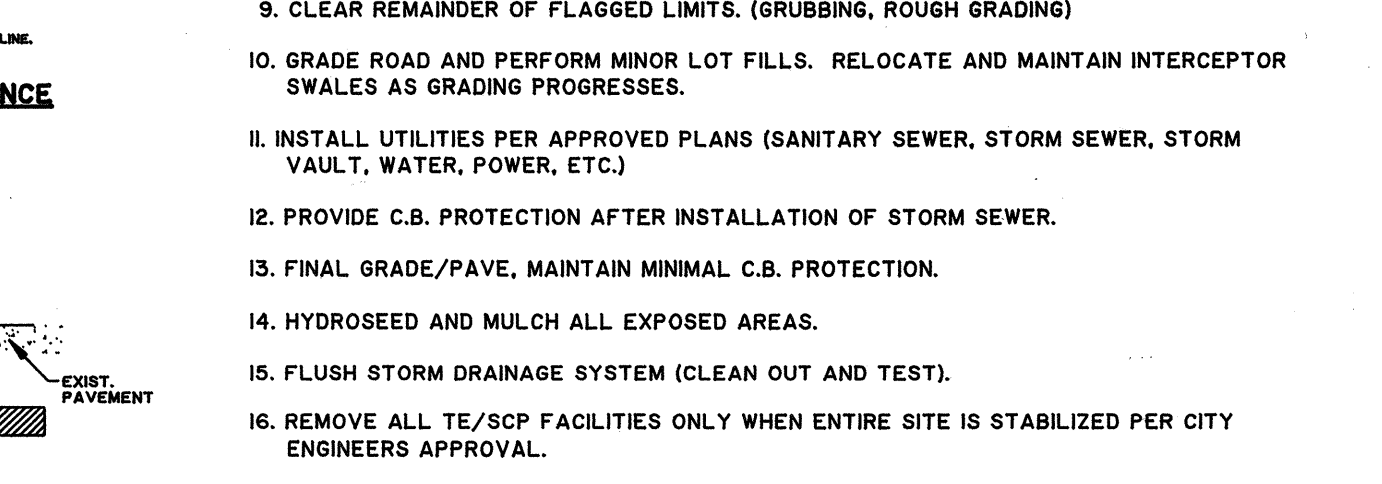
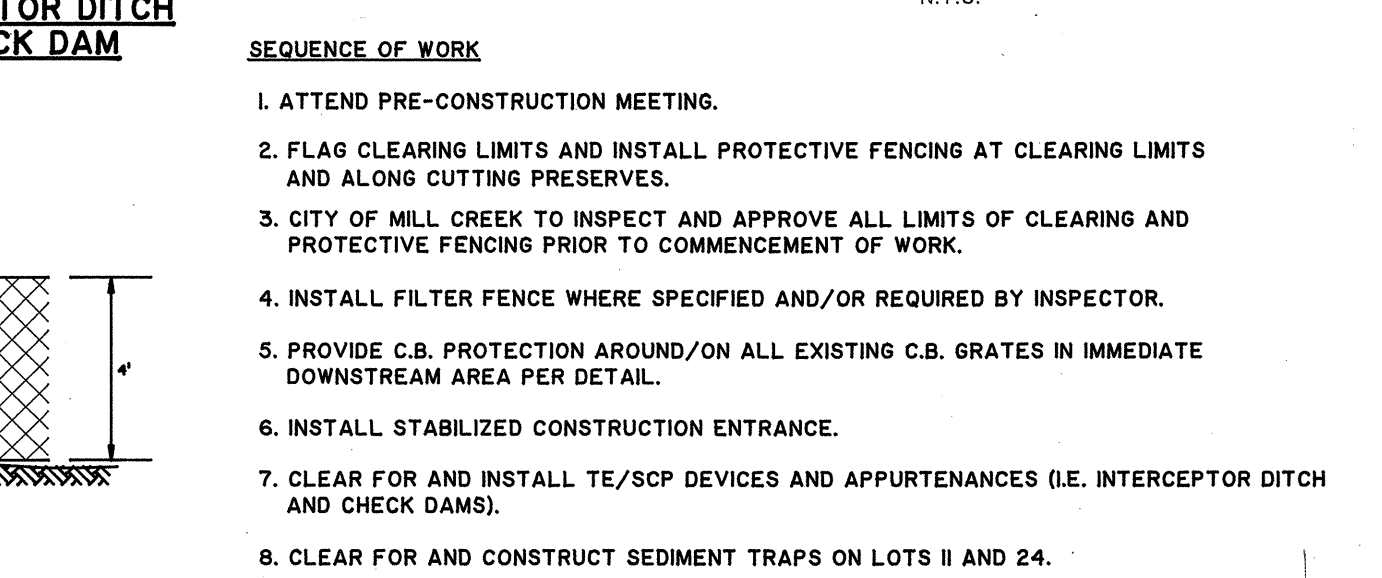
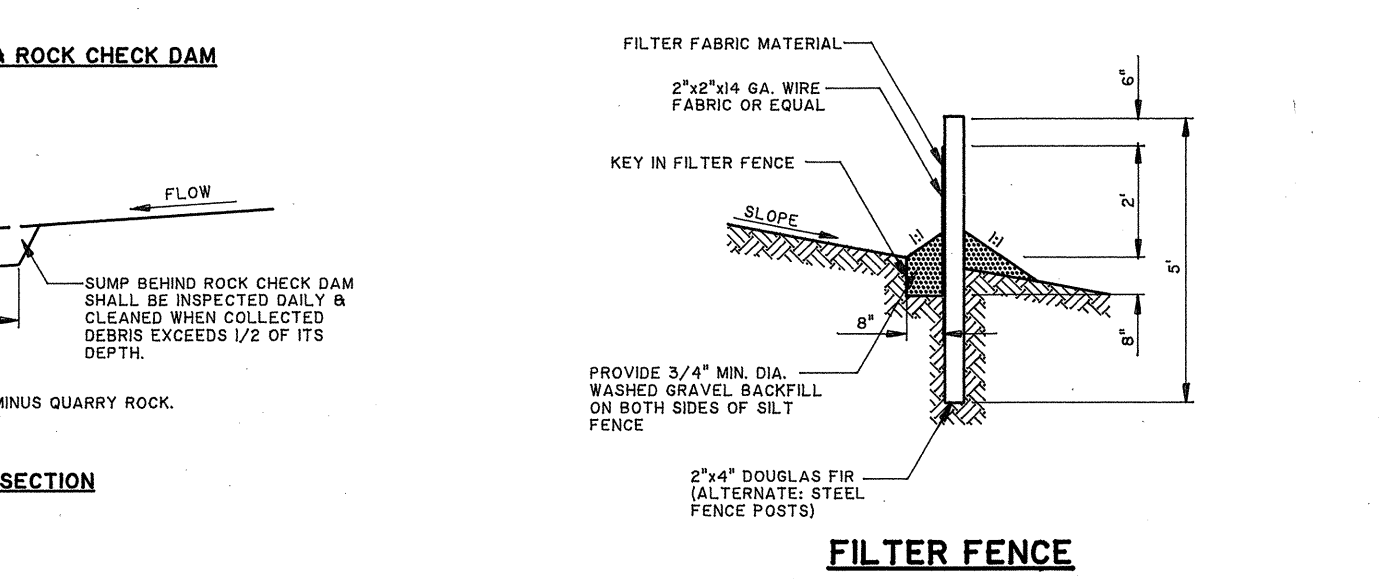
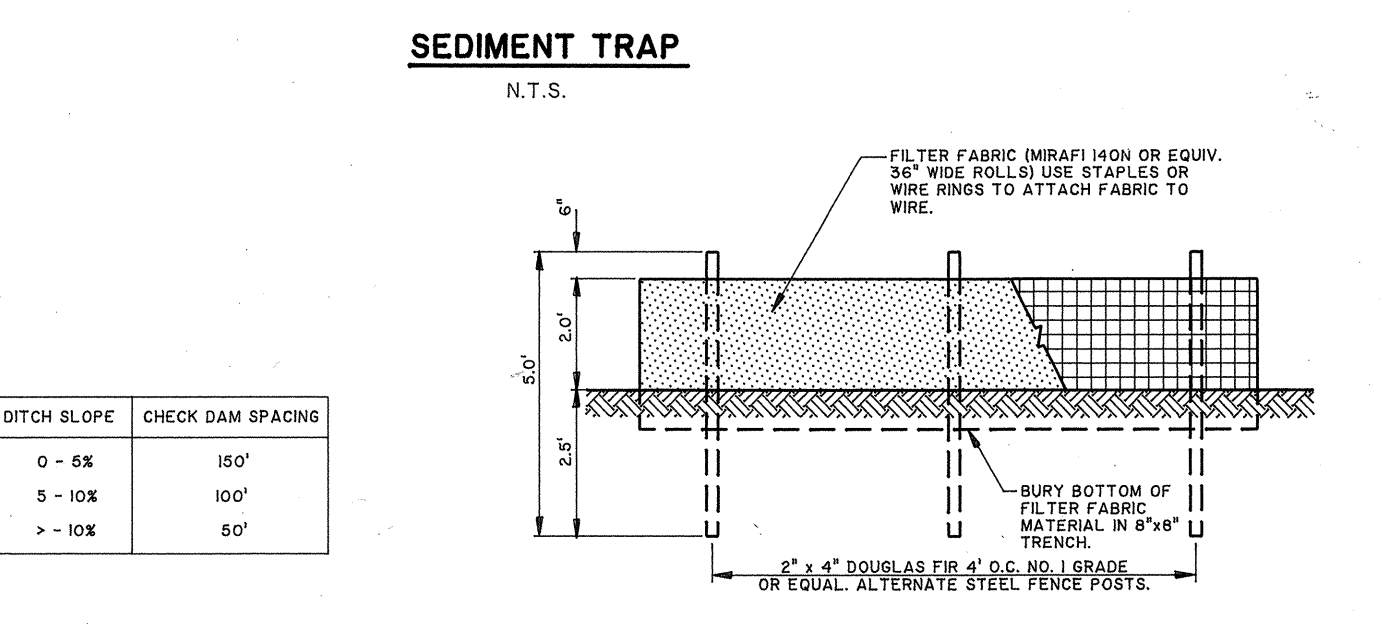


STABILIZED CONSTRUCTION ENTRANCE



TEMPORARY SEDIMENT TRAP FOR CATCH BASIN

- TESCP NOTES**
- WHERE POSSIBLE, MAINTAIN NATURAL VEGETATION FOR SILT CONTROL.
 - AS CONSTRUCTION PROGRESSES AND SEASONAL CONDITIONS DICTATE, MORE SILTATION CONTROL FACILITIES MAY BE REQUIRED TO ENSURE COMPLETE SILTATION CONTROL. THEREFORE, DURING THE COURSE OF CONSTRUCTION, IT SHALL BE THE OBLIGATION AND RESPONSIBILITY OF THE DEVELOPER TO ADDRESS ANY NEW CONDITIONS THAT MAY BE CREATED BY HIS ACTIVITIES AND TO PROVIDE ADDITIONAL FACILITIES OVER AND ABOVE THE MINIMUM REQUIREMENTS AS MAY BE NEEDED.
 - ALL TEMPORARY SILTATION CONTROLS SHALL BE MAINTAINED IN A SATISFACTORY CONDITION UNTIL SUCH TIME THAT CLEARING AND/OR CONSTRUCTION IS COMPLETED, PERMANENT DRAINAGE FACILITIES ARE OPERATIONAL AND THE POTENTIAL FOR EROSION HAS PASSED.
 - AFTER CONSTRUCTION, TEMPORARY EROSION CONTROL AREAS SHOULD BE RETURNED TO ORIGINAL GROUND CONDITIONS.
 - VEGETATION SHALL BE ESTABLISHED ON AREAS DISTURBED OR ON AREAS OF CONSTRUCTION AS NECESSARY TO MINIMIZE EROSION.
 - TEMPORARY SILT FENCES WILL BE REQUIRED AROUND CATCH BASINS DURING CONSTRUCTION, ADDITIONAL SILT FENCES MAY BE NEEDED AS WEATHER CONDITIONS CHANGE.
 - ADDITIONAL SILT FENCES AND STRAW BALES SHALL BE STOCKPILED AND AVAILABLE ON SITE FOR IMMEDIATE USE. THE CITY ENGINEER MAY REQUEST ADDITIONAL EROSION PROTECTION MEASURES AS CONDITIONS DICTATE.



- SEQUENCE OF WORK**
- ATTEND PRE-CONSTRUCTION MEETING.
 - FLAG CLEARING LIMITS AND INSTALL PROTECTIVE FENCING AT CLEARING LIMITS AND ALONG CUTTING PRESERVES.
 - CITY OF MILL CREEK TO INSPECT AND APPROVE ALL LIMITS OF CLEARING AND PROTECTIVE FENCING PRIOR TO COMMENCEMENT OF WORK.
 - INSTALL FILTER FENCE WHERE SPECIFIED AND/OR REQUIRED BY INSPECTOR.
 - PROVIDE C.B. PROTECTION AROUND/ON ALL EXISTING C.B. GRATES IN IMMEDIATE DOWNSTREAM AREA PER DETAIL.
 - INSTALL STABILIZED CONSTRUCTION ENTRANCE.
 - CLEAR FOR AND INSTALL TE/SCP DEVICES AND APPURTENANCES (I.E. INTERCEPTOR DITCH AND CHECK DAMS).
 - CLEAR FOR AND CONSTRUCT SEDIMENT TRAPS ON LOTS II AND 24.
 - CLEAR REMAINDER OF FLAGGED LIMITS. (GRUBBING, ROUGH GRADING)
 - GRADE ROAD AND PERFORM MINOR LOT FILLS. RELOCATE AND MAINTAIN INTERCEPTOR SWALES AS GRADING PROGRESSES.
 - INSTALL UTILITIES PER APPROVED PLANS (SANITARY SEWER, STORM SEWER, STORM VAULT, WATER, POWER, ETC.)
 - PROVIDE C.B. PROTECTION AFTER INSTALLATION OF STORM SEWER.
 - FINAL GRADE/PAVE, MAINTAIN MINIMAL C.B. PROTECTION.
 - HYDROSEED AND MULCH ALL EXPOSED AREAS.
 - FLUSH STORM DRAINAGE SYSTEM (CLEAN OUT AND TEST).
 - REMOVE ALL TE/SCP FACILITIES ONLY WHEN ENTIRE SITE IS STABILIZED PER CITY ENGINEERS APPROVAL.

APPROVED FOR CONSTRUCTION
 CITY OF MILL CREEK
 CITY ENGINEER
 DATE: 12/1/92

SPECIAL NOTE:
 DE-WATER LOW AS NECESSARY TO PLACE ROAD AND LOT FILLS PER A.P.W.A. SEC. 2-06 WHEN ROAD SUBGRADE IS PLACED AND STORM SEWER IS INSTALLED. PROVIDE TEMPORARY SEDIMENT TRAPS (SEE DETAIL THIS SHEET) AT CB #S 16 AND 17. DIRECT ALL SURFACE FLOWS TO THESE TRAPS.

- LEGEND:**
- EDGE EXISTING CLEARING AND INSTALL BARRIER FENCE
 - EDGE NEW CLEARING LIMITS AND INSTALL BARRIER FENCE (SEE NOTE 1)
 - ULTIMATE CLEARING LIMITS (SEE NOTE 2)
 - FILTER FENCE
 - INTERCEPTOR DITCH
 - CHECK DAM (TO BE INSTALLED AT 50' INTERVALS)
 - FINISH GRADE CONTOUR
 - ULTIMATE FINISH GRADE LOT CONTOUR (SEE NOTE 2)
 - EXISTING TREE TO REMAIN
 - TREE TO BE REMOVED
 - INSTALL PRESERVATION/BARRIER FENCE AROUND SPECIFIC TREE(S).

REV. NO.	DATE	DESCRIPTION	MADE BY	CHECKED	REV. NO.	DATE	DESCRIPTION	MADE BY	CHECKED
					2	6-18-92	REV. PER CITY OF MILL CREEK SECOND REVIEW	H.W.	B.P.F.
					1	6-9-92	REV. PER CITY OF MILL CREEK FIRST REVIEW	H.W.	B.P.F.

SCALE: 1"=50'

DRAWN: H.W.

DATE: 2/92

APPROVED: T.M.U.

FIELD BOOK:

PAGE:

ACAD DWG.: 910520

EXPIRES: 10/9/

EXPIRES: 9/15/93

LANCASTER HOMES, INC.

T.E.S.C. AND GRADING PLAN SHEET

SUNRISE AT MILL CREEK

CITY OF MILL CREEK WASHINGTON

JOB NO. 92500

SHEET 5

HUGH G. GOLDSMITH & ASSOCIATES, INC.
 Consulting Engineers • Surveyors • Planners

CONIFER BUILDING - SUITE 100
 Bellefield Office Park
 1450 144th Avenue S.E.
 Bellevue, Washington 98004 (206) 462-1080

GENERAL STRUCTURAL NOTES

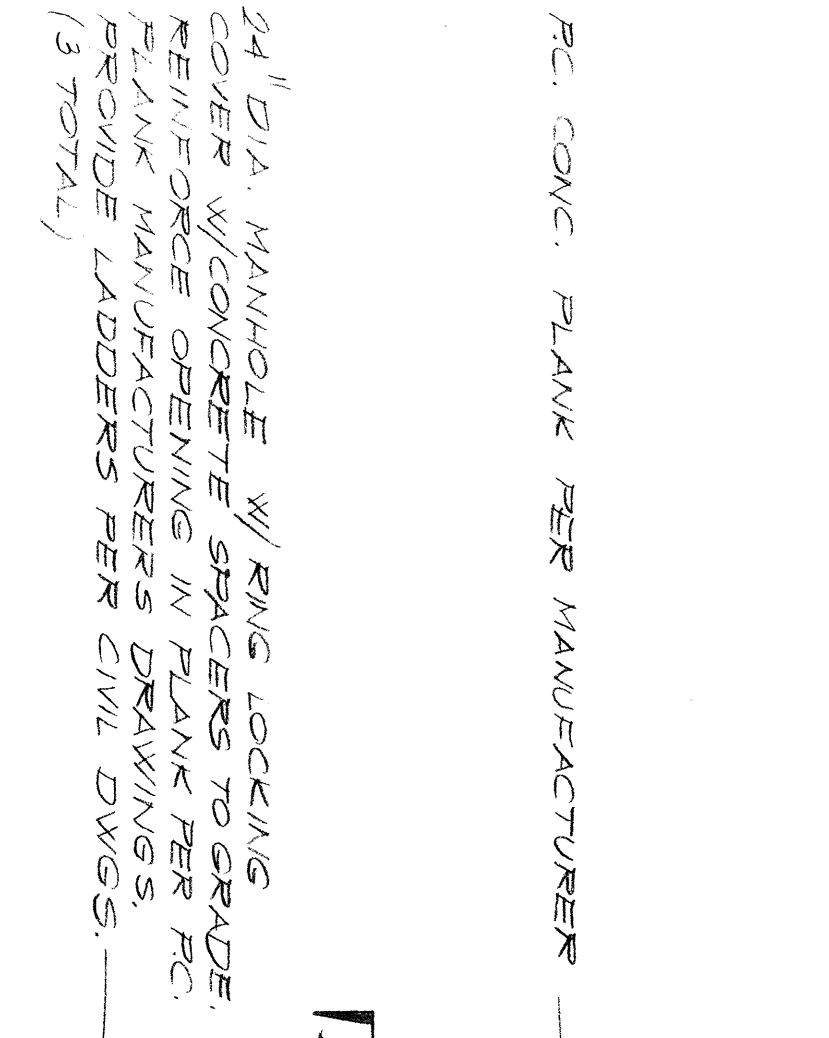
(The following apply unless shown otherwise on the plans.)

1. ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE REQUIREMENTS OF THE DRAWINGS, SPECIFICATIONS, AND THE CODES.
2. STRUCTURAL DRAWINGS SHALL BE USED IN CONSTRUCTION WITH OTHER DRAWINGS FOR BIDDING AND CONSTRUCTION. CONTRACTORS SHALL VERIFY ALL EXISTING DIMENSIONS, AND CONDITIONS PRIOR TO COMMENCING ANY WORK. ALL DIMENSIONS OF EXISTING CONSTRUCTION SHOWN ON THE DRAWINGS ARE INTENDED AS GUIDELINES ONLY AND MUST BE VERIFIED.
3. SHOP DRAWINGS FOR REINFORCING STEEL AND PRECAST CONCRETE MEMBERS SHALL BE SUBMITTED TO THE STRUCTURAL ENGINEER FOR REVIEW PRIOR TO FABRICATION OF THESE ITEMS.
4. CONCRETE STRENGTHS AT 28 DAYS AND MIX CRITERIA SHALL BE AS FOLLOWS:

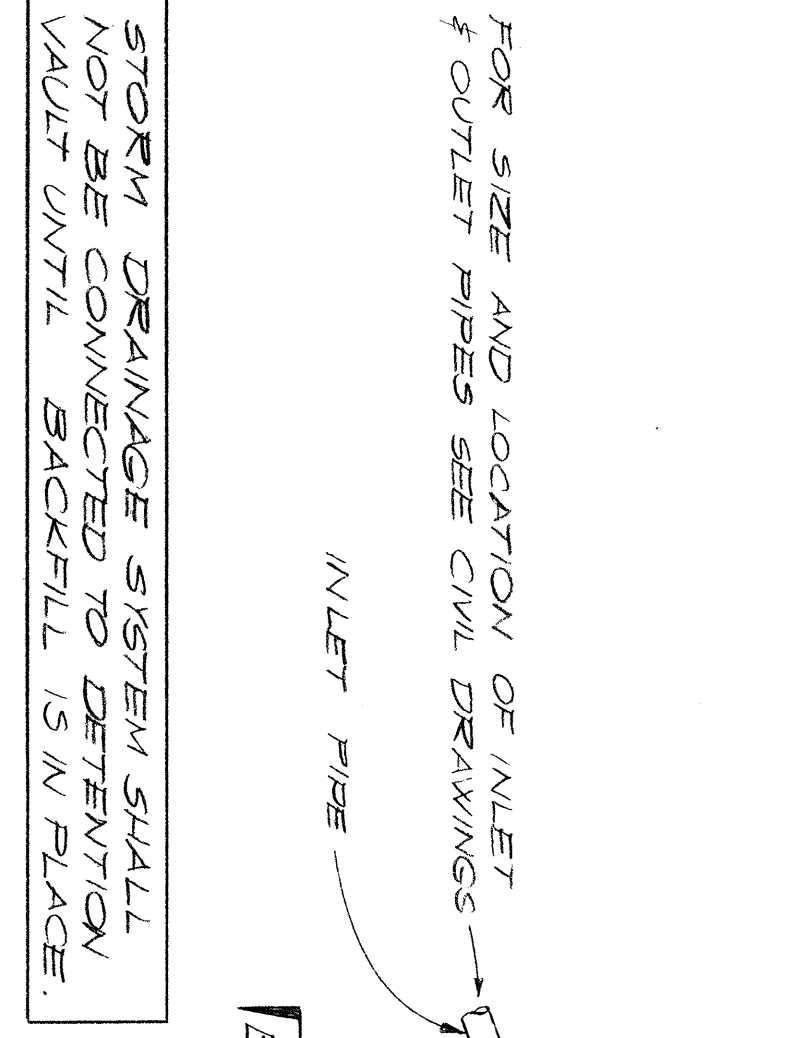
Type of Construction	28-day Strength (f'c)	Minimum Per. Concrete Yield	Maximum Water Content Per. Std. of Cement
A. Cast in Place Concrete	2,000	5%	7-1/2% gallons
B. Precast - Prestressed Hollow-core planks	8,000		

5. THE MINIMUM AMOUNTS OF CEMENT AND MAXIMUM AMOUNTS OF WATER MAY BE CHANGED IF A CONCRETE DESIGN MIX IS PLACED IN THE CONCRETE. THE CONCRETE DESIGN MIX SHALL INCLUDE THE AMOUNTS OF CEMENT, FINE AND COARSE AGGREGATE, WATER AND ADMIXTURES AS WELL AS THE WATER-CEMENT RATIO, SLUMP, CONCRETE YIELD AND SUSTAINING STRENGTH DATA IN ACCORDANCE WITH U.S.C. 2041 (63).
6. ALL CONCRETE EXPOSED TO WEATHER OR TO FREEZING TEMPERATURES SHALL BE AIR ENTRAINED WITH AN AIR-ENTRAINING AGENT CONFORMING TO U.S.C. STANDARD 209. THE MIX SHALL BE 14.1% BY VOLUME.
7. REINFORCING STEEL SHALL CONFORM TO ASTM A615-75, GRADE 60, fy = 60,000 PSI. OUTSIDE STRENGTH DESIGN SHALL BE 1.25 TIMES (125%).
8. PRECAST PRESTRESSED CONCRETE UNITS SHALL BE DESIGNED BY THE MANUFACTURER FOR THE LOADS AND SPANS (INCLUDING SPECIAL CONDITIONS AT JOINTS AND ROCKERS) SHOWN ON THE PLANS. DESIGN STRENGTHS SHALL BE 1.25 TIMES (125%) THE DESIGN STRENGTHS SHOWN ON THE PLANS. ALL SUBMITTALS SHALL BEAM THE NAME AND SIGNATURE OF A REGISTERED PROFESSIONAL ENGINEER, STATE OF WASHINGTON. VERTICAL CURVES SHALL BE 15 FEET LONG.
9. PRECAST CONCRETE MEMBERS SHALL BE ADJOINTLY BARRED UNTIL ALL FINAL CONNECTIONS HAVE BEEN COMPLETED. ALL CONNECTIONS SHALL BE DESIGNED BY THE SUPPLIER. THE SUPPLIER SHALL BE RESPONSIBLE FOR THE DESIGN OF CONNECTIONS. ALL STRUCTURAL SYSTEMS WHICH ARE TO BE COMPOSED OF COMPONENTS TO BE FIELD SPICED SHALL BE SUPERVISOR APPROVED DURING MANUFACTURING, DELIVERY, HANDLING, STORAGE AND ERECTION IN ACCORDANCE WITH INSTRUCTIONS PREPARED BY THE SUPPLIER.
10. NON-SHIRT GROUP PLACED BETWEEN P.C. PLANKS SHALL BE FURNISHED BY AN APPROVED MANUFACTURER AND SHALL BE MIXED AND PLACED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S PUBLISHED RECOMMENDATIONS.
11. ALL FINAL CONNECTIONS HAVE BEEN COMPLETED IN ACCORDANCE WITH THE PLANS.
12. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REQUIRED SAFETY REGULATIONS AND THE METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES REQUIRED TO PERFORM HIS WORK.
13. CONTRACTOR INITIATED CHANGES SHALL BE SUBMITTED IN WRITING TO THE STRUCTURAL ENGINEER FOR APPROVAL PRIOR TO FABRICATION OR CONSTRUCTION. CHANGES SHOWN ON SHOP DRAWINGS ONLY WILL NOT SATISFY THIS REQUIREMENT.
14. DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION, WHERE CONDITIONS ARE NOT SPECIFICALLY SHOWN OR APPROVED BY THE STRUCTURAL ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF ALL CONNECTIONS AND DETAILS NOT SHOWN ON THE PLANS.
15. FORMS SHALL BE DESIGNED BY THE CONTRACTOR AND APPROVED BY THE STRUCTURAL ENGINEER. ALL FORMS SHALL BE DESIGNED WITH FREE DRAINING CHANNELS TO PREVENT CONCRETE FROM CURING TOO RAPIDLY. ALL FORMS SHALL BE DESIGNED FOR HYDROSTATIC PRESSURE. SOILS ENGINEER SHALL VERIFY ADEQUATE SOIL CONDITIONS AT THE TIME OF VAULT EXCAVATION AND SIGHT SOIL BEARING CERTIFICATION.

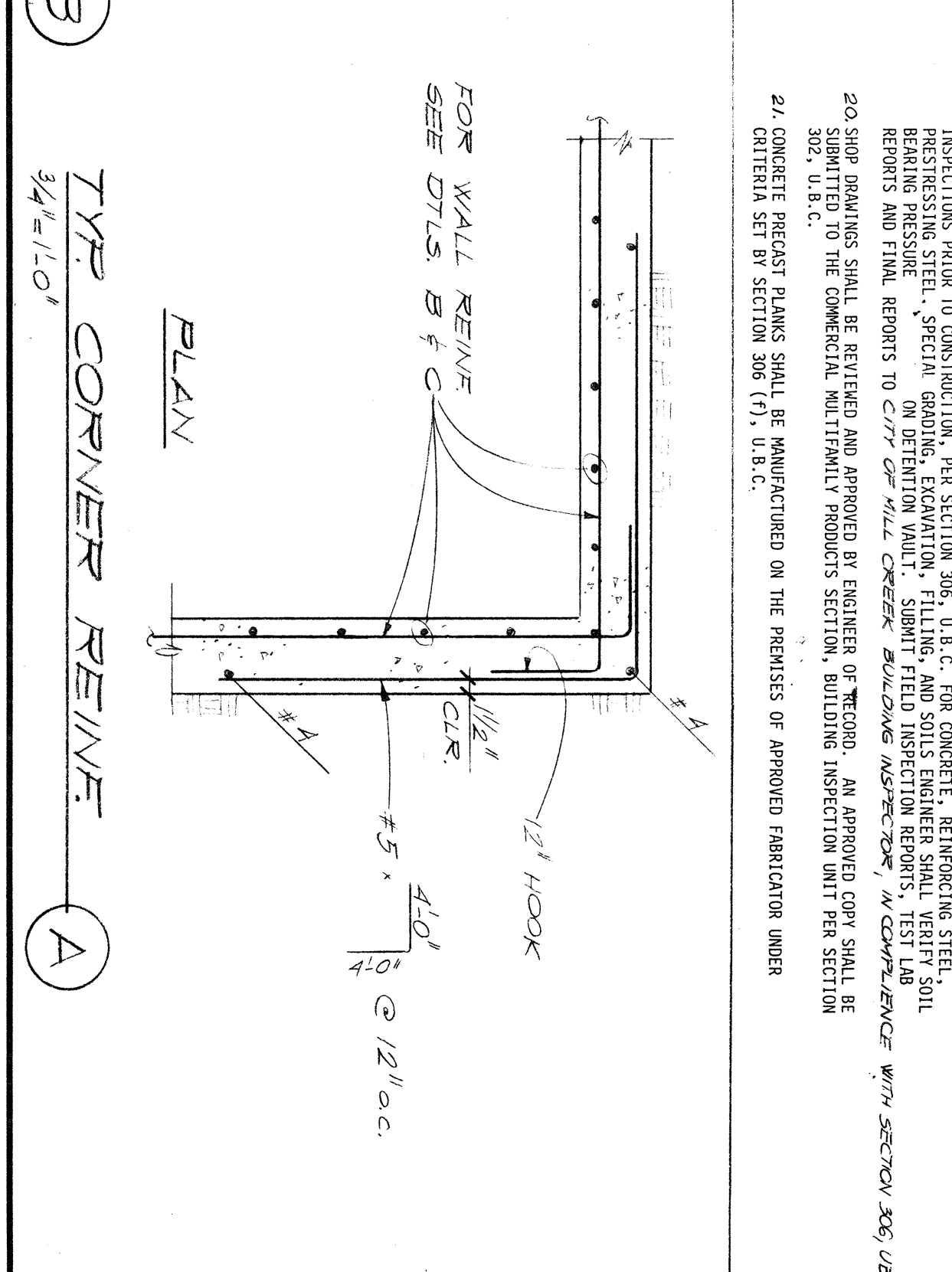
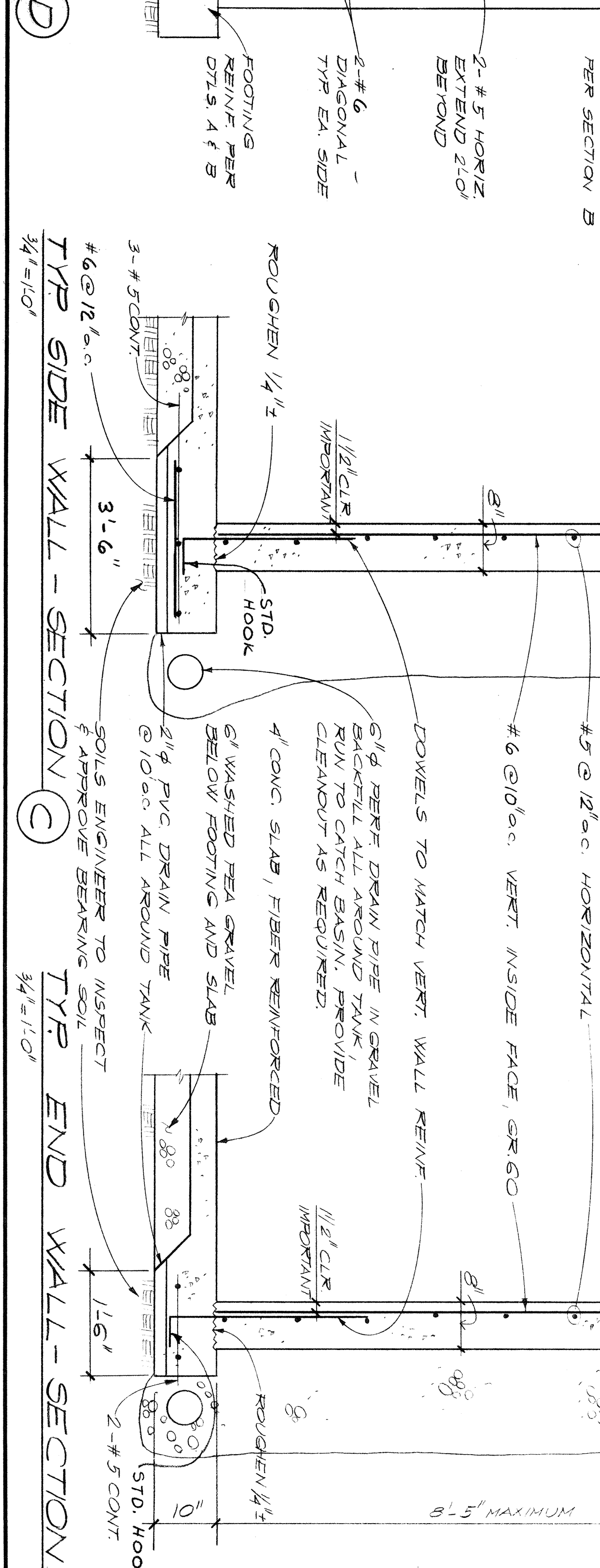
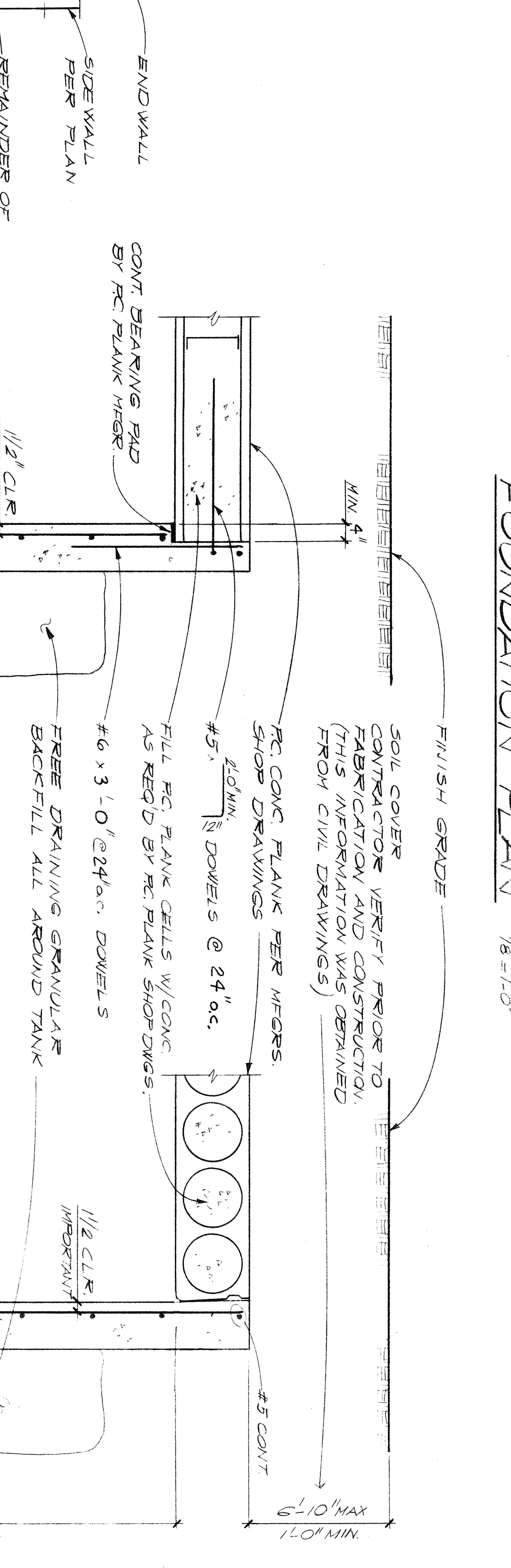
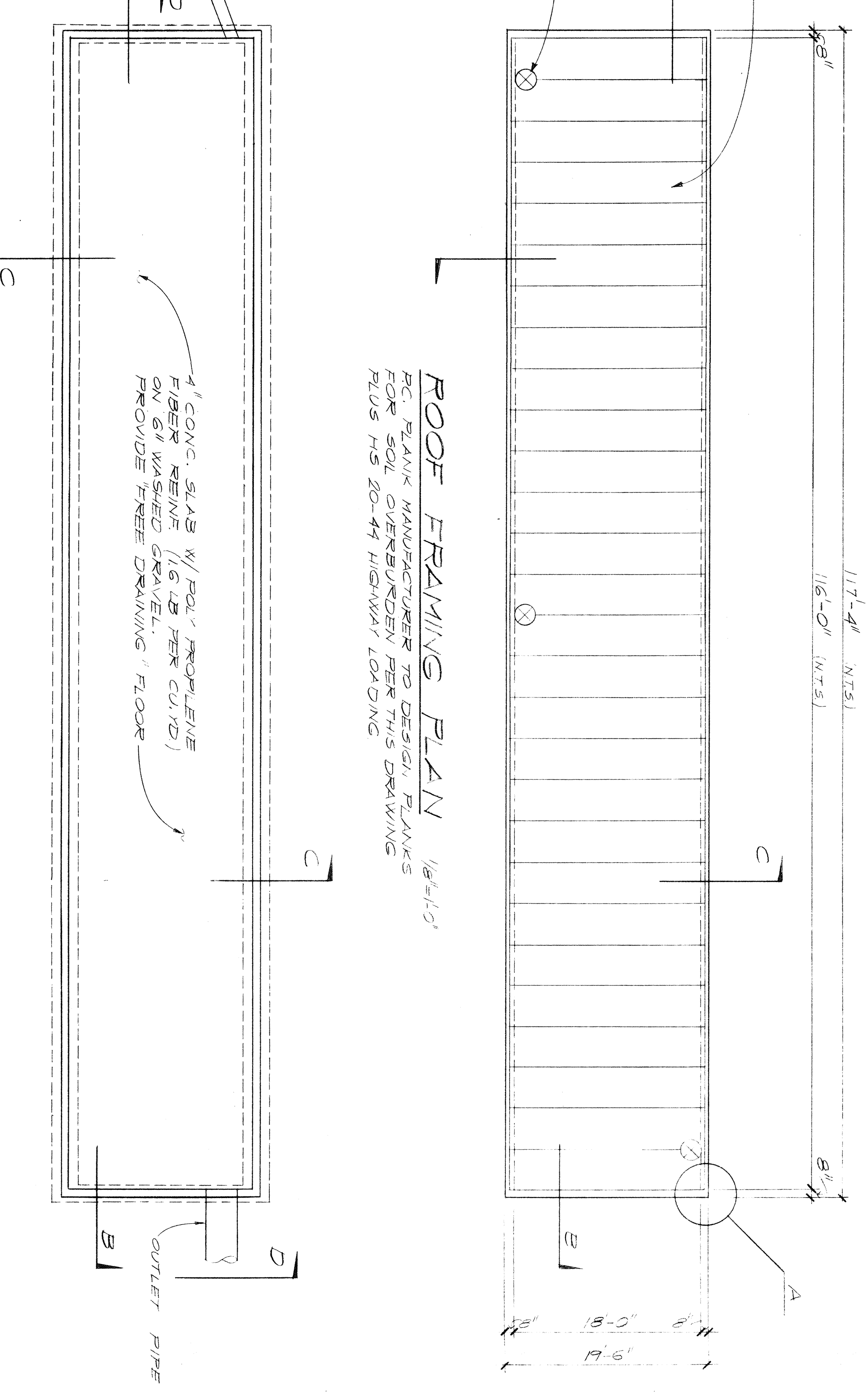
16. PRIOR TO RELEASE OF THE PERFORMANCE BOND, THE FOLLOWING CERTIFICATIONS SHALL BE SUBMITTED TO THE KING COUNTY STORM AND SURFACE WATER MANAGEMENT DEPARTMENT.
 - a. STRUCTURAL ENGINEER SHALL VERIFY EXISTING SOIL CONDITIONS FOR ROOF PLANK SYSTEM AND SIGHT SOIL BEARING CERTIFICATION.
 - b. CERTIFICATION OF THE PLACEMENT OF ALL STEEL REINFORCING SHALL BE SUBMITTED FROM A QUALIFIED TESTING LABORATORY.
 - c. CERTIFICATION OF THE CONCRETE STRENGTH SHALL BE SUBMITTED FROM A QUALIFIED TESTING LABORATORY (MINIMUM OF THREE CYLINDERS PER VAULT).
 - d. CERTIFICATION OF THE VOLUME OF EACH VAULT SHALL BE SUBMITTED BY A LICENSED ENGINEER OR SURVEYOR.
 - e. AS-BUILT DATA CERTIFYING THE VOLUME OF EACH VAULT SHALL BE SUBMITTED BY A LICENSED ENGINEER OR SURVEYOR.
17. STRUCTURAL INSPECTION: A QUALIFIED STRUCTURAL ENGINEER/INSPECTOR SHALL BE RETAINED BY THE CONTRACTOR TO INSPECT AND PROVIDE INSPECTION REPORTS IN COMPLIANCE WITH THE KING COUNTY DEPARTMENT OF PUBLIC WORKS AND UTILITIES. THE INSPECTION REPORTS SHALL INCLUDE, BUT NOT BE LIMITED TO, COMPLIANCE WITH REQUIREMENTS FOR CONCRETE, REINFORCING STEEL AND PRESTRESSING STEEL, WELDING, HIGH STRENGTH BOLTING, STRUCTURAL JOINTS, SPECIAL BOLTING AND FILLING.
18. APPROVAL OF SPECIAL INSPECTION SERVICE SHALL BE OBTAINED FROM CITY OF MILL CREEK'S OFFICE OF BUILDING INSPECTION. SPECIAL INSPECTION SERVICE SHALL BE PROVIDED BY THE STRUCTURAL ENGINEER. THE STRUCTURAL ENGINEER SHALL SUBMIT A SPECIAL INSPECTION REPORT TO THE CITY OF MILL CREEK BUILDING INSPECTION. A COMPLIANCE WITH SECTION 360,00K REPORTS AND FINAL REPORTS TO CITY OF MILL CREEK BUILDING INSPECTION. AN APPROVED COPY SHALL BE SUBMITTED TO THE COMMERCIAL WILDFIRE PRODUCTS SECTION, BUILDING INSPECTION UNIT PER SECTION 360,00K U.S.C.
19. CONCRETE PRECAST PLANKS SHALL BE MANUFACTURED ON THE PREMISES OF APPROVED FABRICATOR UNDER DIRECT SUPERVISION OF THE STRUCTURAL ENGINEER.



NOTE:
 1. DO NOT BACKFILL UNTIL ROOF PLANKS AND CLOSURES ARE COMPLETED AND ALL CONCRETE STRENGTH HAS REACHED 75 #2000 PSI
 2. DURING BACKFILL OPERATION BACKFILL EVENTS ALL AROUND TAKE IN EQUAL LIFTS.



FOR SIZE AND LOCATION OF INLET PIPE SEE CIVIL DRAWINGS



<p>SUNRISE AT MILL CREEK STORMWATER DETENTION VAULT CITY OF MILL CREEK, WASHINGTON</p>	<p>CLIENT: PACIFIC PROPERTIES</p>	<p>J. CLARK JOHNSON CONSULTING ENGINEERS 1418-112TH AVENUE N.E. BELLEVUE, WASH. 98004 (206) 454-7137</p>	<p>REVISIONS BY</p> <table border="1"> <tr> <td>06-18-92</td> <td>TLL</td> </tr> </table>	06-18-92	TLL
06-18-92	TLL				
<p>Sheet S1 of 1 Sheets</p>	<p>Date 06.01.92</p>	<p>Scale AS NOTED</p>	<p>Drawn T.M.</p>		